

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
SEPTEMBER 15, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

(III) CONSENT AGENDA

(1) Approval of Minutes for the August 25, 2020 Planning and Zoning Commission meeting.

(2) **P2020-034 (DAVID GONZALES)**

Consider a request by Chad DuBose of JCDB Holdings, LLC for the approval of a Final Plat for Lots 1, Block A, Pecan Valley Retail Addition being a 2.356-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive and 3005 N. Goliad Street [SH-205], and take any action necessary.

(3) **SP2020-020 (DAVID GONZALES)**

Discuss and consider a request by Todd Winters of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes LP for the approval of a Site Plan for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 50.154-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochell Road south of SH-276, and take any action necessary.

(4) **SP2020-022 (DAVID GONZALES)**

Discuss and consider a request by Kevin Lawson of Lawson Real Estate Holdings, LLC for the approval of a Site Plan for an *office building* on a 0.47-acre parcel of land identified as Lot 5, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1507 Airport Road.

(IV) PUBLIC HEARING ITEMS

(5) **Z2020-033 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

(6) **Z2020-034 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and take any action necessary.

(7) **Z2020-035 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or More with Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

(8) **Z2020-036 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Nabihha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a flag pole on an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned

Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

(9) **Z2020-037 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

(10) **Z2020-038 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary.

(V) **ACTION ITEMS**

(11) **SP2020-018 (DAVID GONZALES)**

Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of Russell Phillips of Harbor LakePointe Investors, LLC for the approval of an Amended Site Plan for a 265-unit condominium development situated on a 7.58-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), located south of the intersection of Summer Lee Drive and Glen Hill Way, and take any action necessary.

(VI) **DISCUSSION ITEMS**

(12) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2020-031: Final Plat for Lot 1, Block A, Sparks Six Addition **(APPROVED)**
- P2020-033: Replat for Lot 6, Block A, Harbor District Addition **(APPROVED)**
- Z2020-030: SUP for an *Accessory Building* for 1748 Lake Breeze Drive **(APPROVED; 2ND READING)**
- Z2020-031: Zoning Amendment to Planned Development District 79 (PD-79) **(APPROVED; 2ND READING)**
- Z2020-032: SUP for a *Residential Infill in an Established Subdivision* for 481 Blanche Drive **(APPROVED; 2ND READING)**

(VII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on September 11, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION WORK SESSION MEETING CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS AUGUST 25, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

I. CALL TO ORDER

Chairman Eric Chodun called the meeting to order at 6:01 PM. Commissioners present were John Womble, Tracey Logan, Sedric Thomas, Annie Fishman and Vice-Chairman Jerry Welch. Absent from the meeting was Commissioner Mark Moeller. Staff members present were Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, Planner Henry Lee, Planning and Zoning Coordinator Angelica Gamez, and City Engineer Amy Williams.

II. OPEN FORUM

Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward, Chairman Chodun closed the open forum.

III. APPOINTMENTS

1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

A representative from the Architectural Review Board was not present and Planning and Zoning Director Ryan Miller advised the Commission that recommendations made by the Board would be discussed with each case.

IV. CONSENT AGENDA

2. Approval of Minutes for the August 11, 2020 Planning and Zoning Commission meeting.

3. P2020-031 (DAVID GONZALES)

Consider a request by Kerry Joshua Sparks for the approval of a Final Plat for Lot 1, Block A, Sparks Six Addition being a 2.88-acre tract of land identified as Tract 3-03, 3-05, & 3-07 of the M. Simmons Survey, Abstract No. 194, Rockwall County, Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), generally located on the west side of Old Millwood Road north of the intersection of Old Millwood Road and FM-552, and take any action necessary.

4. P2020-033 (HENRY LEE)

Consider a request by Cameron Slown of Teague, Nall, and Perkins, Inc. on behalf of Dan Bobst of Harbor Heights Investors, LP for the approval of a Replat for Lot 6, Block A, Harbor District Addition being a 2.06-acre parcel of land identified as Lot 1, Block A, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2701 Sunset Ridge Drive, and take any action necessary.

Vice-Chairman Welch made a motion to approve the consent agenda. Commissioner Sedric Thomas seconded the motion which passed by a vote of 6-0 with Commissioner Moeller absent.

V. DISCUSSION ITEMS

5. Z2020-033 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Patrick Wells
210 Wade Drive
Rockwall, TX 75087

The applicant came forward and provided a brief summary in regards to the request. He explained that his family is downsizing and are ready to build their forever home. He added that he turned in updated plans after speaking with Craig Foshee in regards to the easements and encroachment.

Commissioner Womble asked if there would be a housing analysis shown at the public hearing.

Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting on September 15, 2020.

6. Z2020-034 (RYAN MILLER)

65 Hold a public hearing to discuss and consider a request by Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an*
66 *Established Subdivision* for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A,
67 Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family
68 residential land uses, addressed as 118 Mischief Lane, and take any action necessary.

69
70 Chairman Chodun asked the applicant to come forward.

71
72 Hunter Sonnen (representative)
73 4435 Middleoak Grove
74 Katy, TX 77494
75

76 The representative came forward and provided a brief summary in regards to the request. He indicated that their main issue was having
77 the front facing garage without the 20-foot recessed from the front façade. Mr. Sonnen added that they did research on the neighborhood
78 and found that 15 of about 21 homes there were built in a similar style and feels that the requested home is harmonious with the
79 subdivision.
80

81 Planning and Zoning Director Ryan Miller advised the Commission that pictures of the surrounding homes in the area were added to their
82 packets. He also stated that the Commission's approval of the waiver would not set a precedence in the neighborhood as there were
83 already homes of a similar style. Mr. Miller then advised the applicant's representative that Staff had been contacted by the Homeowners
84 Association of the neighborhood and they wanted the applicant to meet with them as the requested home does not meet their deed
85 restrictions.
86

87 Vice-Chairman Welch asked what the distance was from the garage to the front of the street.

88
89 Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the
90 Commission for action at the next scheduled meeting on September 15, 2020.
91

92 7. **Z2020-035 (RYAN MILLER)**

93 Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit
94 (SUP) for a *Restaurant with 2,000 SF or More with Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a
95 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned
96 Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action
97 necessary.
98

99 Chairman Chodun asked the applicant to come forward.

100
101 Casey Orr (Engineer)
102 121 S. Main Street
103 Henderson, TX 75654
104

105 Mike Stansburg (Director of Development)
106 101 E. Cherokee Street
107 Jacksonville TX 75766
108

109 Mr. Stansburg came forward and provided a brief background and summary of the request. He added that they have other preliminary
110 layouts based on comments that they had received. He added that they also have some questions in regards to primary façade facing of
111 the building and the articulation they would need to comply with. He then advised that they were available to address any concerns or
112 questions the Commission had.
113

114 Planning and Zoning Director Ryan Miller provided additional details in regards to the request. He clarified that the location was not in the
115 Downtown (DT) District and was not located in any Overlay (OV) Districts either. Mr. Miller added that it is zoned Planned Development
116 and it does have Residential adjacency on two (2) sides and street frontage on the other 2 sides. He added that the proposed use clearly
117 states that they cannot take access from a residential street but the alleyway behind the proposed restaurant is considered a residential
118 street. The applicants currently have a drive off of 205 and if they reorient it to W. Bourn Street then they would need to seek a variance to
119 the driveway spacing requirement. There were also some issues with residential adjacency that were detailed in the project comments
120 such as the location of the speaker box adjacent to the residential areas. Staff also asked for screening exhibits to tie down the screening.
121 Due to the large issue of residential adjacency, Staff made a recommendation that the applicants limit the hours of operation to help
122 accommodate the issue.

123 Commissioner Logan advised that it was a tricky location and would be surprised if the applicant did not receive feedback from the
124 neighbors.
125

126 Chairman Chodun asked if their intention was to stay open 24 hours but the applicant suggested that it would not be a 24-hour location
127 but hours had not been finalized yet. He also asked what prompted the change in configuration of the restaurant.
128

129 Planning and Zoning Director Ryan Miller advised that that would be a tough sell and a discretionary decision for TX dot.

130
131 Commissioner Fishman asked if this was the standard size of a Taco Bell and asked if the parking requirement was met.
132

133 Chairman Chodun asked if there were any traffic studies conducted in the area.

Commissioner Thomas advised what the peak times would be at the restaurant.

Vice-Chairman Welch suggested to the applicant that it would be nice to have the residents located on the west in favor of the request.

Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting on September 15, 2020.

8. **Z2020-036 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Nabiha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a flag pole on an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Steve Symonds
7503 Flagstone Drive
Fort Worth, TX 76118

The applicant came forward and showed a video regarding the request. He added that the owners are very much for the request and what they believe in.

Planning and Zoning Director Ryan Miller provided additional detail in regards to the request. He explained that flag poles are required to meet the same height standards as a structure. Due to them being in a Light Industrial (LI) District, it does grant them higher height limitation of up to 60 feet but anything over that is required to get a Specific Use Permit (SUP) with the maximum cutoff being 120 feet.

Vice-Chairman Welch asked about the size of the flag would be.

Commissioner Fishman asked what safety considerations should be considered when having something that tall.

Vice-Chairman Welch asked about the height of the 2 large flag poles in Rowlett. He also asked if there was a certain height of the flag pole where it requires a light for airplanes.

Chairman Chodun asked if there would a precedence set in Rockwall or if they could limit what the flag says. Mr. Miller advised that the Commission would be approving the height of the pole and not the message.

Commissioner Womble asked if there was a reason why they could not dictate what is flown on the pole.

Commissioner Thomas added that the flag poles would draw attention to the other dealerships.

Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting on September 15, 2020.

9. **Z2020-037 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Casey Orr
121 S. Main Street
Henderson, TX 75654

The applicant came forward and provided a brief summary in regards to the request. She advised that she had provided traffic counts from other restaurants as was requested at the previous meeting.

Planning and Zoning Director Ryan Miller provided additional details in regards to the request. He added that Staff had begun to advertise the case again in accordance with the new application and has already received notices from the neighborhood that will be provided at the public hearing.

Commissioner Thomas added that disclosure of the restaurant would've been nice the first time it was submitted. He also asked the applicant to consider losing the drive through option as it might help the case.

Commissioner Fishman asked if what was pictured was what would be going in. Planning and Zoning Director Ryan Miller added that the elevations do not meet any of the Overlay (OV) District standards so what is pictured is not what will be going in.

Commissioner Womble asked where the side screening would go.

Commissioner Logan asked if the applicant was presenting the same case and only adding the use and an informal survey. She added that the neighbors might still feel nervous about the traffic.

Commissioner Womble asked if this piece of land was intended to be Commercial. Mr. Miller explained that this piece of land was attached to the adjoining property and it has a floodplain running through the middle of it. The remaining piece of land is just the corner which is why they are struggling on how to utilize the land.

Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting on September 15, 2020.

10. **Z2020-038 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Ruben Segovia
9512 Teagarden
Dallas, TX 75217

The applicant came forward and provided a brief summary in regards to the request. He explained that one of the primary issues they had with the land was that it needed a septic tank. In order for the construction to be approved, they needed to replat the lots to turn it into one (1) lot.

Commissioner Logan asked if there was a sewer system located in the middle of Lake Rockwall Estates or why the applicant needed to have a septic system.

Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting on September 15, 2020.

11. **SP2020-018 (DAVID GONZALES)**

Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of Russell Phillips of Harbor LakePointe Investors, LLC for the approval of an Amended Site Plan for a 265-unit condominium development situated on a 7.58-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), located south of the intersection of Summer Lee Drive and Glen Hill Way, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Jimmy Strohmeier
2701 Sunset Ridge
Rockwall, TX 75032

The applicant came forward and provided brief summary in regards to the request. He explained that the only difference with this building and the one previously presented was a color change. They are wanting to do this in order to distinguish the building from the adjacent condos.

Planning and Zoning Manager David Gonzales advised that the Architectural Review Board (ARB) was forwarding a recommendation for approval on this case. Mr. Gonzales then added that the waivers and variances associated with this case will be discussed at the next meeting.

Vice-Chairman Welch asked if this project would consist of condos or apartments.

Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting on September 15, 2020.

12. **SP2020-020 (DAVID GONZALES)**

Discuss and consider a request by Todd Winters of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes LP for the approval of a Site Plan for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 50.154-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned

Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochelle Road south of SH-276, and take any action necessary.

Chairman Chodun asked the applicant to come forward.

Jim Douglas
2309 K Avenue
Plano, TX 75074

Mr. Douglas came forward and provided a brief summary in regards to the request. He added that they had received comments from Staff and were in the process of addressing those. Mr. Douglas stated that the case would be presented the next week at the Parks Board meeting.

Planning and Zoning Manager David Gonzales added that this case was required to go before the Parks Board for a recommendation. Once a recommendation has been made for the case, then this item will more likely come back to the Commission on the Consent Agenda of the Public Hearing.

Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting on September 15, 2020.

13. **SP2020-022 (DAVID GONZALES)**

Discuss and consider a request by Kevin Lawson of Lawson Real Estate Holdings, LLC for the approval of a *Site Plan* for an *office building* on a 0.47-acre parcel of land identified as Lot 5, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1505 Airport Road.

Chairman Chodun asked the applicant to come forward,

Kevin Lawson
207 Stonebridge Drive
Rockwall, TX 75087

Mr. Lawson came forward and provided a brief summary in regards to the request. Their objective is to build a professional office space and would occupy about 60% of the building. They would move from Rowlett with existing staff as well.

Planning and Zoning Manager David Gonzales added that the Architectural Review Board (ARB) reviewed the case and would be forwarding a recommendation for approval. He also added that there would be a change in the elevations but ARB was okay with the change.

Planning and Zoning Director Ryan Miller added that there were no variances associated with the case so it will be located in the Consent Agenda at the Public Hearing.

Chairman Chodun asked about the number of Staff that Mr. Lawson would be bringing over from the previous office.

Commissioner Chodun asked if anyone had any other questions. There being none Chairman Chodun indicated the case will return to the Commission for action at the next scheduled meeting on September 15, 2020.

14. *Director's Report* of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2020-029: Preliminary Plat for RiverRock Trails Subdivision [NO ACTION TAKEN]
- Z2020-030: SUP for an *Accessory Building* for 1748 Lake Breeze Drive [APPROVED; 1st READING]
- Z2020-031: Zoning Amendment to Planned Development District 79 (PD-79) [APPROVED; 1st READING]
- Z2020-032: SUP for a *Residential Infill in an Established Subdivision* for 481 Blanche Drive [APPROVED; 1st READING]

Planning and Zoning Director Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting. He also thanked Tracey Logan and Annie Fishman for their time and service serving on the Planning and Zoning Commission.

VI. ADJOURNMENT

Chairman Chodun adjourned the meeting at 6:59 PM.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2020.

Attest:

Angelica Gamez, Planning and Zoning Coordinator

Eric Chodun, Chairman



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 15, 2020
APPLICANT: Chad DuBose; JCDB Goliad Holdings, LLC
CASE NUMBER: P2020-034; Lots 1, Block A, Pecan Valley Retail Addition

SUMMARY

Consider a request by Chad DuBose of JCDB Holdings, LLC for the approval of a Final Plat for Lots 1, Block A, Pecan Valley Retail Addition being a 2.356-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive and 3005 N. Goliad Street [SH-205], and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a final plat for a 2.356-acre tract of land (*i.e. Lot 1, Block A, Pecan Valley Retail Addition*) to establish the necessary easements and dedicate right-of-way (*i.e. 3,152 SF or 0.072-acres*) along N. Goliad Street for the purpose of allowing the construction of an approximately 11,000 SF single-story, multi-tenant retail building.
- ☑ On July 9, 2019, the Planning and Zoning Commission approved a site plan [Case No. SP2019-023] and all associated variances (*i.e. material and masonry composition and four (4) sided architecture*) for the retail building. Additionally, on October 9, 2019, the Architectural Review Board (ARB) approved a change in the color to the exterior materials of the approved building elevations [*i.e. SP2019-039*] from a light tan stone to a darker (*i.e. Austin Mist*) limestone.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Final Plat for Lot 1, Block A, Pecan Valley Retail Addition, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☒ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3005 N. Goliad St

Subdivision Pecan Valley Retail

Lot 1 Block A

General Location Northwest corner of Goliad St and Pecan Valley Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-65 w/ N SH 205 Overlay Current Use Vacant

Proposed Zoning PD-65 w/ N SH 205 Overlay Proposed Use Retail

Acreage 2.174 Lots [Current] 1 Lots [Proposed] 1

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner JCDB Goliad Holdings, LLC ☐ Applicant

Contact Person Chad DuBose

Contact Person

Address 8350 N. Central Expressway
Suite 1313

Address

City, State & Zip Dallas, TX 75206

City, State & Zip

Phone 214-701-8455

Phone

E-Mail chad@foremark.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

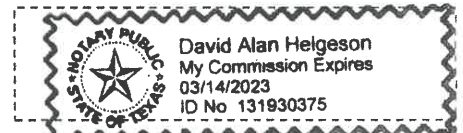
Before me, the undersigned authority, on this day personally appeared Chad DuBose [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$_____, to cover the cost of this application, has been paid to the City of Rockwall on this the 1st day of September, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

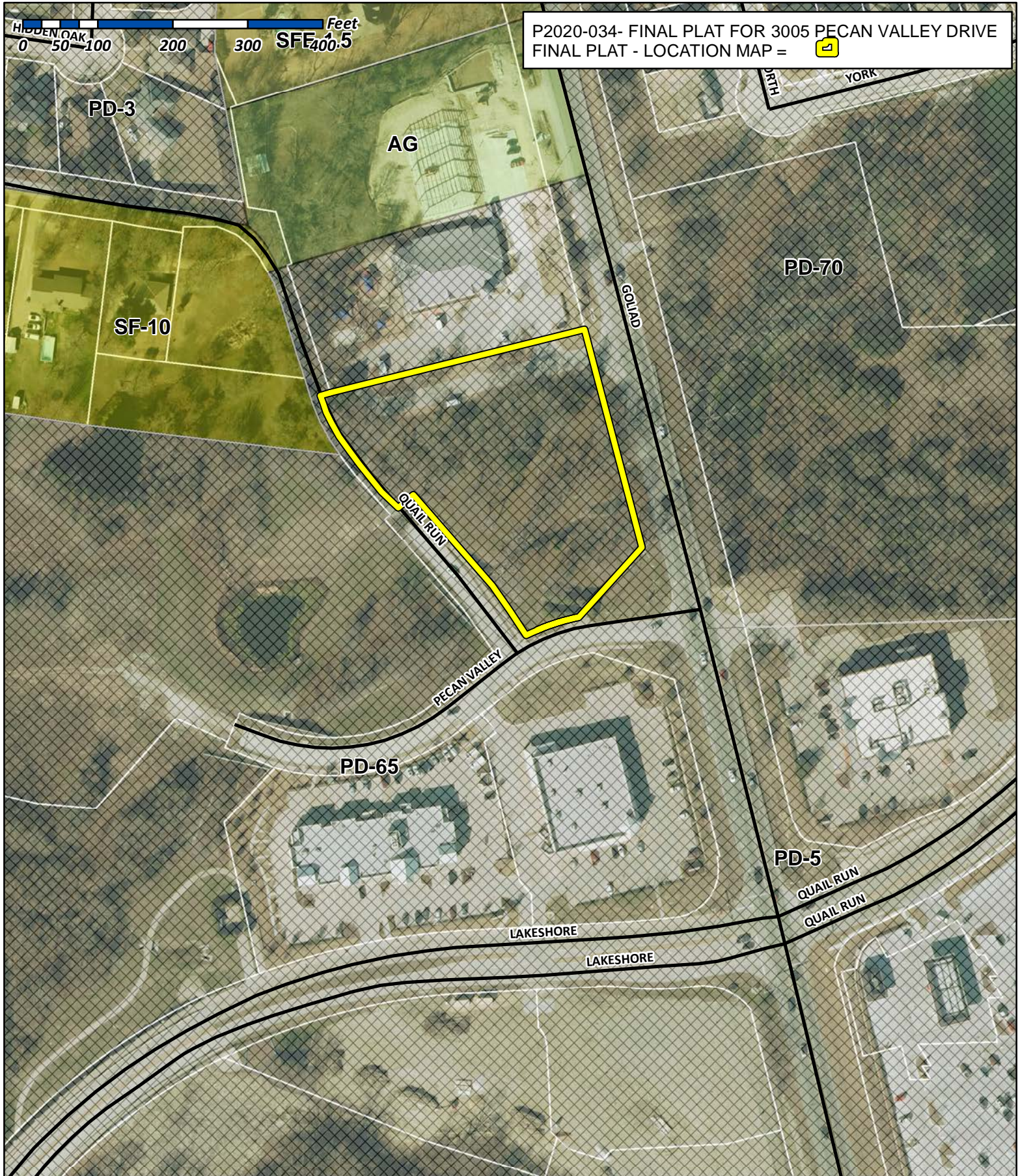
Given under my hand and seal of office on this the 1st day of September, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires 03/14/2023

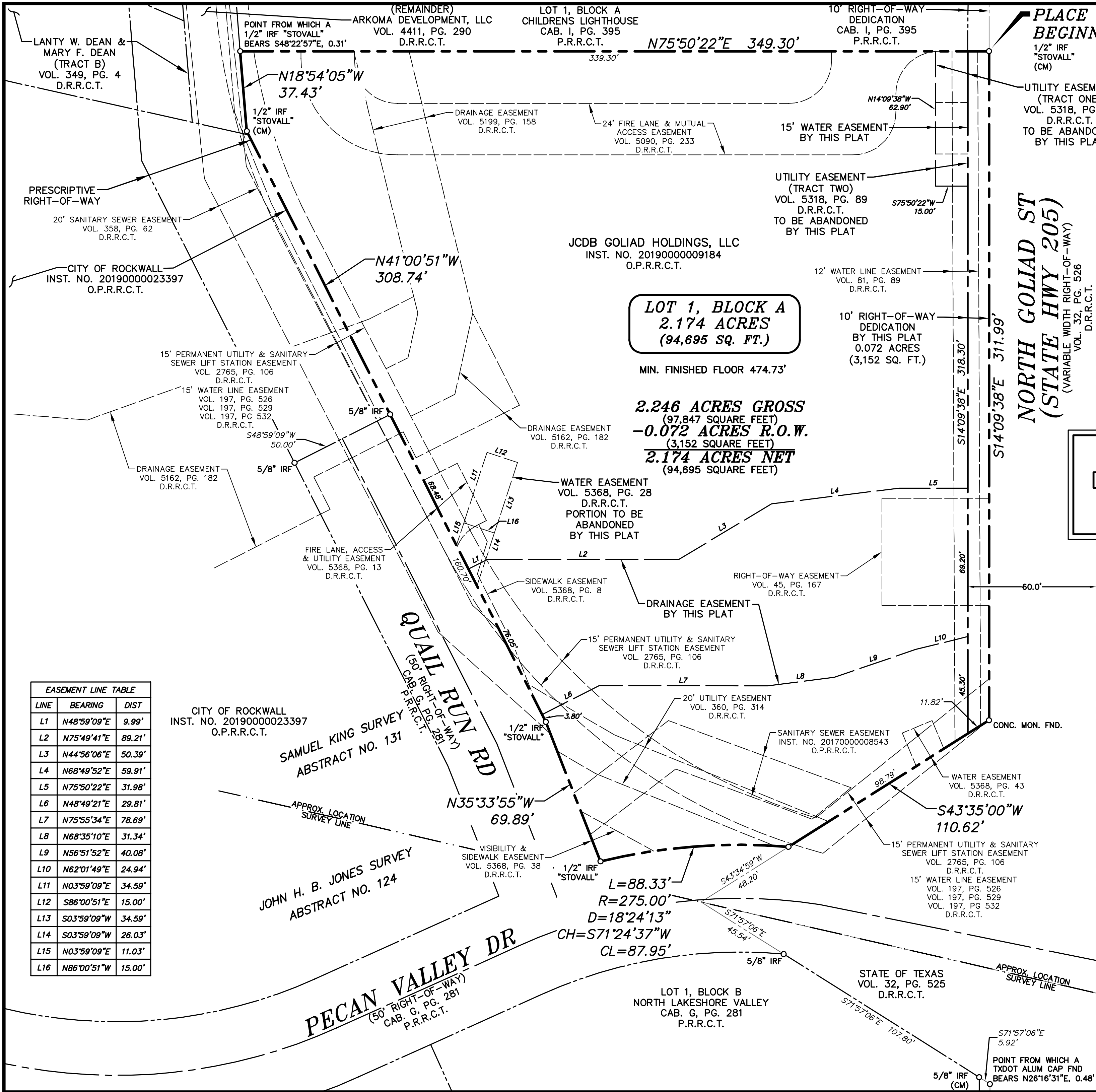


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





EASEMENT LINE TABLE		
LINE	BEARING	DIST
L1	N48°59'09"E	9.99'
L2	N75°49'41"E	89.21'
L3	N44°56'06"E	50.39'
L4	N68°49'52"E	59.91'
L5	N75°50'22"E	31.98'
L6	N48°49'21"E	29.81'
L7	N75°55'34"E	78.69'
L8	N68°35'10"E	31.34'
L9	N56°51'52"E	40.08'
L10	N62°01'49"E	24.94'
L11	N03°59'09"E	34.59'
L12	S86°00'51"E	15.00'
L13	S03°59'09"W	34.59'
L14	S03°59'09"W	26.03'
L15	N03°59'09"E	11.03'
L16	N86°00'51"W	15.00'

PRELIMINARY
FOR REVIEW PURPOSES ONLY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

OWNER / DEVELOPER
JCDB GOLIAD HOLDINGS, LLC
8350 N. CENTRAL EXPY, SUITE 1313
DALLAS, TEXAS 75206
CONTACT: CHAD DUBOSE
PH: (214) 561-6522
EMAIL: CHAD@FOREMARK.COM

ENGINEER / SURVEYOR
WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: JAKE FEARS, P.E.
PH: (817) 467-7700
FAX: (817) 467-7713

FINAL PLAT
LOT 1, BLOCK A
PECAN VALLEY RETAIL
BEING A PORTION OF THE
SAMUEL KING SURVEY, ABSTRACT NO. 131,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NUMBER SP2019-023
1 LOT 2.246 ACRES

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS JCDB GOLIAD HOLDINGS, LLC, BEING THE OWNER OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, SAID TRACT BEING DESCRIBED AS FOLLOWS:

BEING A TRACT OF LAND LOCATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING ALL OF A TRACT OF LAND DESCRIBED IN A DEED TO JCDB GOLIAD HOLDINGS, LLC, RECORDED IN INSTRUMENT NUMBER 20190000009184, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL" IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (STATE HIGHWAY NO. 205) (A VARIABLE WIDTH RIGHT-OF-WAY), SAID IRON ROD BEING THE NORTHEAST CORNER OF SAID JCDB GOLIAD TRACT AND THE SOUTHEAST CORNER OF A 10-FOOT RIGHT-OF-WAY DEDICATION AS SHOWN ON THE PLAT OF LOT 1, BLOCK A, CHILDRENS LIGHTHOUSE, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN CABINET I, PAGE 395, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.);

THENCE S 14°09'38" E, ALONG THE EAST LINE OF SAID JCDB GOLIAD TRACT AND THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 311.99 FEET TO A CONCRETE MONUMENT FOUND;

THENCE S 43°35'00" W, ALONG A SOUTH LINE OF SAID JCDB GOLIAD TRACT AND CONTINUING ALONG THE WEST LINE OF SAID NORTH GOLIAD STREET, 110.62 FEET TO A POINT IN THE NORTH RIGHT-OF-WAY LINE OF PECAN VALLEY DRIVE (A 50' RIGHT-OF-WAY), BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 88.33 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 275.00 FEET, A DELTA ANGLE OF 18°24'13", AND A CHORD BEARING S 71°24'37" W, 87.95 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL", SAID IRON ROD BEING THE SOUTH CORNER OF SAID JCDB GOLIAD TRACT AND BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE WITH THE EAST RIGHT-OF-WAY LINE OF QUAIL RUN ROAD (A 50' RIGHT-OF-WAY);

THENCE ALONG THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD AS FOLLOWS:

- 1) N 35°33'55" W, 69.89 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";
- 2) N 41°00'51" W, AT A DISTANCE OF 160.70 FEET PASSING A 5/8" IRON ROD FOUND, AND CONTINUING IN ALL A TOTAL DISTANCE OF 308.74 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";
- 3) N 18°54'05" W, 37.43 FEET TO A POINT, FROM WHICH A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL" BEARS S 48°22'57" E, 0.31 FEET, SAID POINT BEING THE NORTHWEST CORNER OF SAID JCDB GOLIAD TRACT AND THE SOUTHWEST CORNER OF SAID LOT 1, BLOCK A, CHILDRENS LIGHTHOUSE;

THENCE N 75°50'22" E, ALONG THE NORTH LINE OF SAID JCDB GOLIAD TRACT AND THE SOUTH LINE OF SAID LOT 1, BLOCK A, CHILDRENS LIGHTHOUSE, 349.30 FEET TO A PLACE OF BEGINNING, AND CONTAINING 2.246 ACRES (97,847 SQUARE FEET) OF LAND, MORE OR LESS.

PRELIMINARY
FOR REVIEW PURPOSES ONLY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

GENERAL NOTES:

1. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

SURVEYOR'S CERTIFICATION:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, AARON L. STRINGFELLOW, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

"THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF AARON L. STRINGFELLOW, RPLS. NO. 6373 ON September 7, 2020. IT IS NOT TO BE USED FOR RECORDING, CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THIS DOCUMENT IS NOT TO BE RELIED UPON AS A COMPLETE SURVEY AND SHALL NOT BE RECORDED."

AARON L. STRINGFELLOW
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6373
EMAIL: AaronLS@WierAssociates.COM

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 1, BLOCK A, PECAN VALLEY RETAIL TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. I FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN LOT 1, BLOCK A, PECAN VALLEY RETAIL HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

I UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. I ALSO UNDERSTAND THE FOLLOWING:

1. NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.
2. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.
3. THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.
4. THE DEVELOPER AND ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.
6. NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

7. PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ANY DRAINAGE SYSTEMS IN EASEMENTS.

I FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; I, MY SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT I MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

WITNESS OUR HANDS THIS THE _____ DAY OF _____, 2020:

FOR: JCDB GOLIAD HOLDINGS, LLC

OWNER

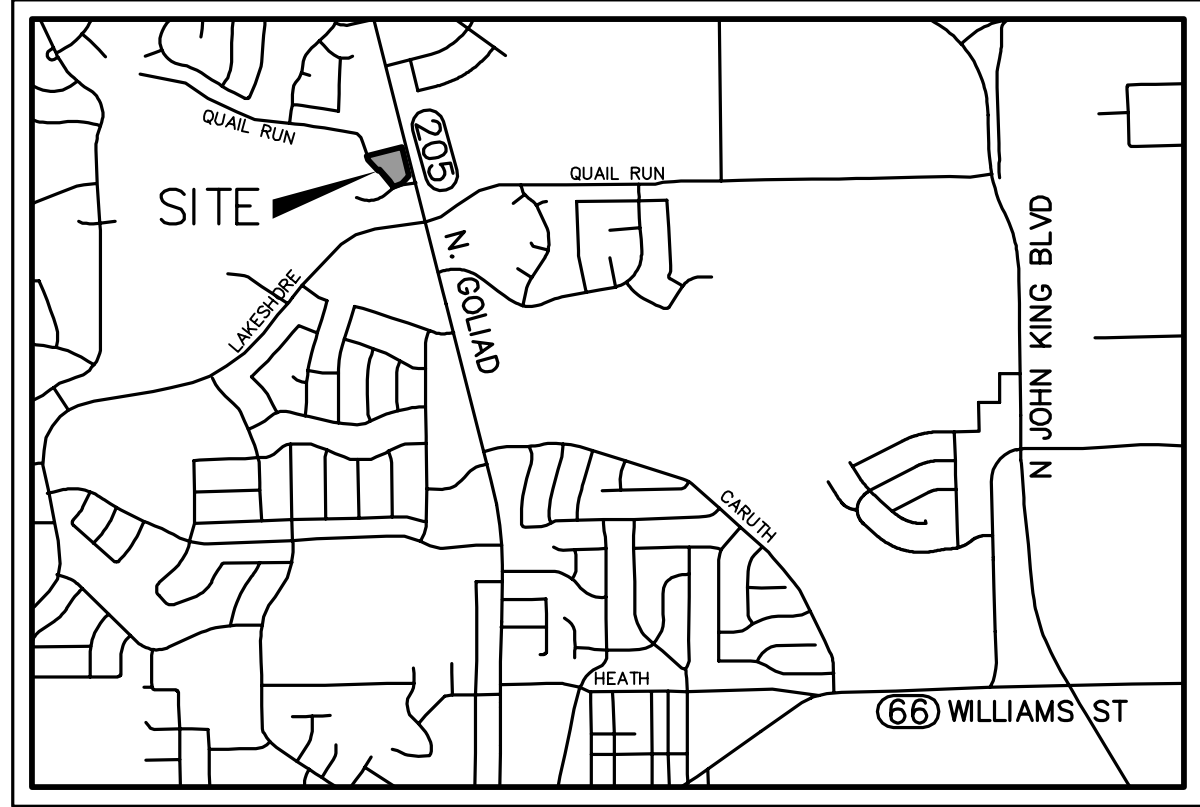
STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ OF JCDB GOLIAD HOLDINGS, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

PRINTED NAME



VICINITY MAP
NOT TO SCALE

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION, CHAIRMAN

DATE

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 2020.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS _____ DAY OF _____, 2020.

MAYOR, CITY OF ROCKWALL

CITY SECRETARY

CITY ENGINEER

OWNER / DEVELOPER

JCDB GOLIAD HOLDINGS, LLC
8350 N. CENTRAL EXPY, SUITE 1313
DALLAS, TEXAS 75206
CONTACT: CHAD DUBOSE
PH: (214) 561-6522
EMAIL: CHAD@FOREMARK.COM

ENGINEER / SURVEYOR

WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006
CONTACT: JAKE FEARS, P.E.
PH: (817) 467-7700
FAX: (817) 467-7713

FINAL PLAT
LOT 1, BLOCK A
PECAN VALLEY RETAIL

BEING A PORTION OF THE
SAMUEL KING SURVEY, ABSTRACT No. 131,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NUMBER SP2019-023
1 LOT 2.246 ACRES

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: September 15, 2020

APPLICANT: Todd Winters; *Engineering Concepts & Design, LP*

CASE NUMBER: SP2020-020; *Site Plan for Terracina Estates Subdivision, Phase 1*

SUMMARY

Discuss and consider a request by Todd Winters of Engineering Concepts & Design, LP on behalf of Clint Vincent of Bloomfield Homes LP for the approval of a Site Plan for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 50.154-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochell Road south of SH-276, and take any action necessary.

BACKGROUND

The *subject property* was annexed into the City on July 21, 1997 by *Ordinance No. 97-14*. It is located on the west side of Rochell Road, south of SH-276, adjacent to the Timber Creek Estates Subdivision. On June 20, 2016, the City Council approved a request to rezone an 81.49-acre portion of the subject property from an Agricultural (AG) District to Planned Development District 82 (PD-82) [*Ordinance No. 16-43*] for a single-family residential subdivision that would consist of 204 single-family lots [*Case No. Z2016-013*]. On September 15, 2017, the owner of the subject property requested to amend Planned Development District 82 (PD-82) by proposing to incorporate an additional 59.065-acre tract of land into the existing 81.49-acre tract of land to create a 140.55-acre single-family, residential development. This request was denied by the City Council on November 6, 2017 [*Case No. Z2017-046*]; however, on November 28, 2017, the Planning and Zoning Commission approved a request allowing the applicant to resubmit a zoning application request based on there being a substantial change to the original request. The substantial change proposed by the applicant in this case was the incorporation of an additional 39-acres of open space (*i.e. the antenna tower park*), providing larger lots adjacent to the existing single-family housing, and adding an additional 2.24-acre private park. This new request changed the overall density of the development reducing it from 2.5 units per acre to 1.5 units per acre. On January 2, 2018, the City Council approved the amendment to Planned Development District 82 (PD-82) via *Ordinance No. 18-08* [*Case No. Z2017-063*]. The final Planned Development District consists of 179.831-acres and 352 single-family residential lots.

PURPOSE

On August 14, 2020, the applicant -- *Todd Winters of Engineering Concepts and Design, LP* -- submitted an application requesting approval of a site plan for the purpose of developing Phase 1 of the Terracina Estates. This phase of the subdivision will consist of 110 single-family residential lots on 50.154-acres. The site plan depicts the proposed amenities and landscaping associated with the 8.24-acre public park, and the hardscape and entry signage plans for the proposed development. The Terracina Estates Subdivision is a three (3) phase master planned community consisting of a total of 352 single-family lots.

ADJACENT LAND USES AND ACCESS

The subject property is situated on the west side of Rochell Road, south of SH-276. The land uses adjacent to the subject property are as follows:

North: Directly north of the *subject property* are the Sterling Farms and Timber Creek Subdivisions. These properties are zoned Single Family Estate (SFE-1.5) and Single Family 10 (SF-10) Districts.

South: Directly south of the *subject property* is a portion of Phase II of the Fontana Ranch Subdivision and the corporate limits of the City of Rockwall. This subdivision is zoned Planned Development District 64 (PD-64) for Single-Family 16 (SF-16) District land uses.

East: Directly east of the *subject property* is Rochell Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the City of Rockwall corporate limits.

West: Directly west of the *subject property* and adjacent to the 39.26-acre tract of land containing multiple radio tower antennas, are several single-family homes situated on large lots that are zoned Agricultural (AG) District and Single-Family Estate 4.0 (SFE-4.0) District. Also adjacent to the southern portion of the antenna tower site are Phases I & II of the Fontanna Ranch Subdivision, which are zoned Planned Development District 64 (PD-64) for Single-Family 16 (SF-16) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

Phase 1 of the Terracina Estates Subdivision will be 50.154-acres of land that will consist of 110 single-family residential lots. This phase of the development will consist of three (3) lot types: [1] *Lot Type 'A'* being 65' x 125' or a minimum of 8,125 SF, [2] *Lot Type 'B'* being 80' x 125' or a minimum of 10,000 SF, and [3] *Lot Type 'C'* being 80' x 125' or a minimum of 12,000 SF. This phase will consist of 296 *Lot Type 'A'* lots and 56 *Lot Type 'B' & 'C'* lots. The proposed minimum size of each dwelling unit for the *Lot Type 'A'* lots will be 1,800 SF and *Lot Types 'B' & 'C'* will be 2,000 SF. These will be constructed using a minimum of 80% masonry, with up to 50% cementitious fiberboard (*e.g. HardiBoard or Hardy Plan*) and stucco; however, stucco (*i.e. three [3] part stucco or a comparable product -- to be determined by staff*) shall be permitted only with the approval of a Specific Use Permit (SUP). The proposed garage orientation for Phase 1 requires a minimum of 30% of the garages to be oriented in a *traditional swing or j-swing configuration*. The remainder of the garages may be in a *front entry* configuration where the garage is flush with or recessed behind the front façade of the home. Driveways will have a minimum length of 25-feet. As a note, garage doors are required to be cedar construction. Garages not meeting these requirements are to meet the standards outlined in Subsection 04.01(B) of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). The gross density for PD-82 is 1.96 dwelling units per acre. Additionally, the plan will consist of 13.36-acres of open space (*or ~26.6% of total land area*), which includes an 8.24-acre public park that will be fully developed with Phase 1. Amenities for the public park include a pavilion, playground, park benches, exercise station, and an eight (8)-foot trail system. The submitted site plan, generally conforms to the technical requirements contained within the UDC for a property located within Planned Development District 82 (PD-82). A summary of the density and dimensional requirements for the subject property are as follows:

Table 1: Density & Dimensional Standards

<i>Lot Type (see Concept Plan) ►</i>	<i>A</i>	<i>B</i>	<i>C</i>
<i>Minimum Lot Width ^{(1) & (5)}</i>	65'	80'	80'
<i>Minimum Lot Depth</i>	125'	125'	125'
<i>Minimum Lot Area</i>	8,125 SF	10,000 SF	25,000 SF
<i>Minimum Front Yard Setback ⁽²⁾</i>	20'	20'	20'
<i>Minimum Side Yard Setback</i>	5'	5'	5'
<i>Minimum Side Yard Setback (Adjacent to a Street) ⁽²⁾</i>	10'	10'	10'
<i>Minimum Length of Driveway Pavement</i>	25'	25'	25'
<i>Maximum Height ⁽³⁾</i>	36'	36'	36'
<i>Minimum Rear Yard Setback ⁽⁴⁾</i>	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF)</i>	1,800 SF	2,000 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- 1: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single family home.
- 4: As measured from the rear yard property line.
- 5: Lots fronting onto a curvilinear street, cul-de-sac or eyebrow may have the lot width reduced by up to 20% as measured at the front property line provided that the lot width is met at the front building line. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows maybe reduced by up to ten (10%) percent, but shall meet the minimum lot size for each lot type.

PARKS AND RECREATIONS BOARD RECOMMENDATION

On September 1, 2020, the Parks and Recreation Board reviewed the site plan, and made a motion to recommend approval of the site plan with the stipulation that the proposed 8.24-acre public park and amenities be constructed to City standards and that the Parks and Recreation Department be responsible for the maintenance of the park. Additionally, the Board recommended that the design of the park include the specific amenities as outlined in *Ordinance No. 18-08 (i.e. PD-82)*. This motion passed by a vote of 6-1, with Board Member Dodd dissenting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request to site plan *Phase 1* of the *Terracina Estates Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained within Planned Development District 82 (PD-82) [i.e. *Ordinance No 18-08*];
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
- ☐ Replat (\$300.00 + \$20.00 Acre) ¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☒ Site Plan (\$250.00 + \$20.00 Acre) ¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

Subdivision

Lot

Block

General Location West of Rochelle Road and south of Timber Creek Estates Neighborhood

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD - 82

Current Use VACANT

Proposed Zoning PD - 82

Proposed Use SINGLE FAMILY RESIDENTIAL

Acreage 50.154

Lots [Current]

Lots [Proposed] 110

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner BLOOMFIELD HOMES LP

☐ Applicant ENGINEERING CONCEPTS & DESIGN, LP

Contact Person CLINT VINCENT

Contact Person TODD WINTERS

Address 1050 E. HIGHWAY 114

Address 201 WINDCO CIRCLE

SUITE 114

SUITE 201

City, State & Zip SOUTHLAKE, TEXAS 76092

City, State & Zip WYLIE, TEXAS 75098

Phone 817-416-1572

Phone 972-941-8400

E-Mail don@bloomfieldhomes.net

E-Mail todd@ecdip.com

NOTARY VERIFICATION [REQUIRED]

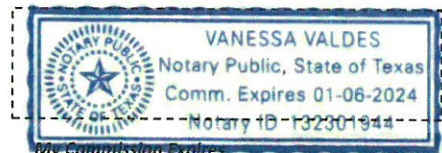
Before me, the undersigned authority, on this day personally appeared Clint Vincent [Owner] the undersigned, who stated the information on this application to be true and certified the following:

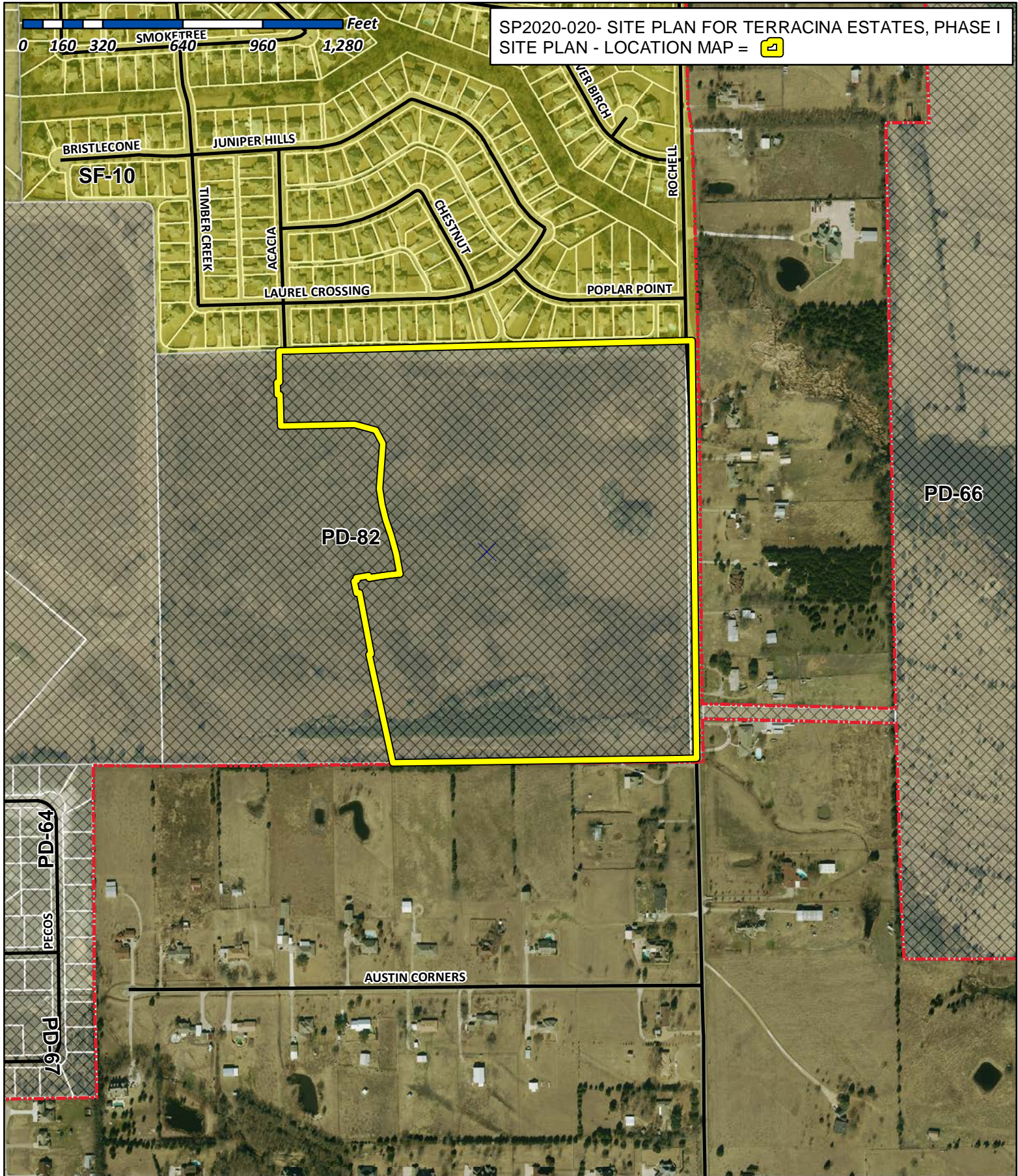
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of August, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13th day of August, 20 20.

Owner's Signature

Notary Public in and for the State of Texas



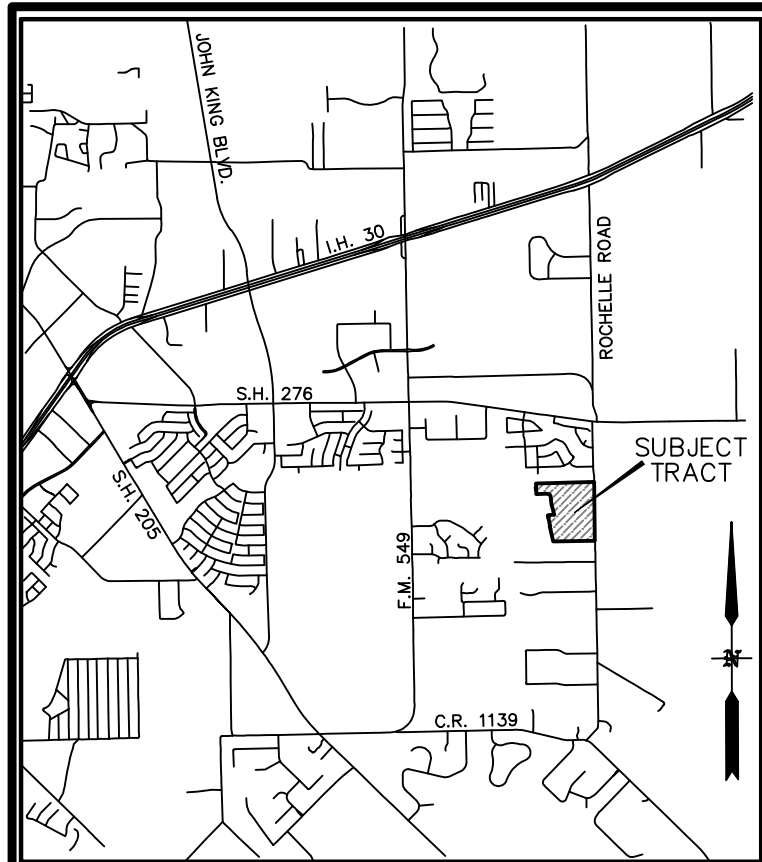


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



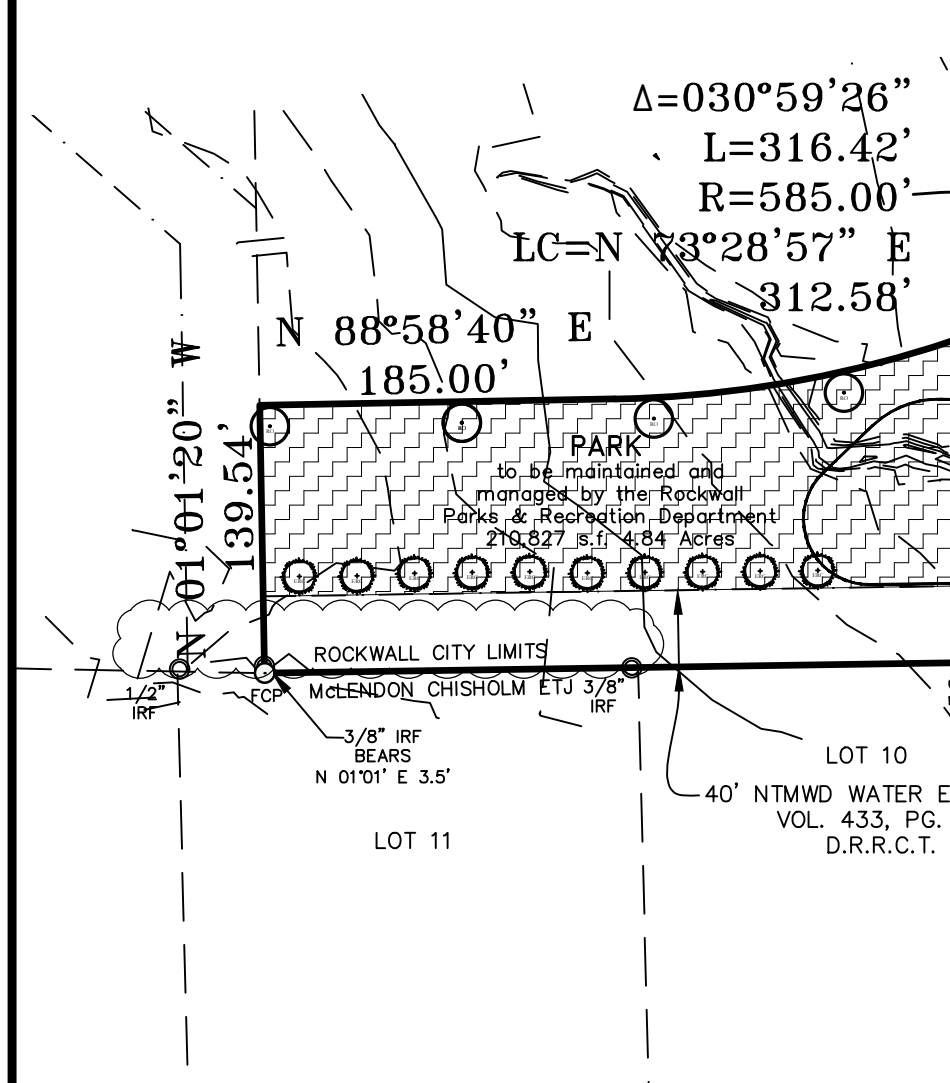


VICINITY MAP
N.T.S.

- LEGEND
- IRF IRON ROD FOUND
 - CIRS 5/8 INCH IRON ROD SET WITH ADAMS SURVEYING COMPANY LLC CAP
 - FCP FENCE CORNER POST FOUND
 - D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY TEXAS
 - P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY TEXAS
 - O.P.R.R.C.T. OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
 - B.L. BUILDING SETBACK LINE
 - U.E. UTILITY EASEMENT
 - D.E. DRAINAGE EASEMENT
 - R.W.E. RETAINING WALL EASEMENT (TO BE MAINTAINED BY PROPERTY OWNER OR HOA)
 - S.V.E. SIDEWALK & VISIBILITY EASEMENT
 - HOA HOMEOWNERS' ASSOCIATION
 - MFFE MINIMUM FINISHED FLOOR ELEVATION
 - SPC STATE PLANE COORDINATES
 - INDICATES CHANGE IN STREET NAME

TERRACINA ESTATES PHASE 1
SITE PLAN DATA

- a. 50.154 Acres
- b. PD-82 Zoning
- c. 110 Dwelling Units
- d. 14.28 Acres Open Space/Park(28%)
- e. Amenities within Subdivision:
 - 1-Pavilion, 1-Playground, 2-Park Bench's,
 - 2-Trash Receptacle, 1-Exercise Station,
 - and a 8' Trial
- f. All Common Areas/Open Space to be maintained by the H.O.A.
- g. * Denotes Street Lights 20' Maximum Height
- h. Denotes Stop Sign & Street Names



CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	000°26'52"	1280.00'	5.00'	10.00'	S 77°41'16" W	10.00'
C2	000°22'28"	1530.00'	5.00'	10.00'	S 77°54'26" W	10.00'
C3	000°24'15"	1580.00'	5.57'	11.15'	S 77°55'20" W	11.15'
C4	004°32'28"	1580.00'	62.65'	125.23'	S 82°12'29" W	125.19'

NOTE:
PARK SHALL BE DESIGNED AND INSTALLED
ACCORDING TO ROCKWALL PARKS AND
RECREATION SPECIFICATIONS.

- TERRACINA ESTATES PHASE 1
PLANT LEGEND
- 18 - 4" LIVE OAK
 - 25 - 4" RED OAK
 - 5 - 4" CEDAR ELM
 - 11 - 4" BALD CYPRESS
 - 33 - 4" EASTERN RED CEDAR
 - 516,123 - S.F. BERMUDA SOD
 - 68,700 - TIF TUF SOD
 - 112 - DWARF BURFORD HOLLY
 - 89 - ELAEAGNUS
 - 89 - DWARF WAX MYRTLE
 - 510 - MEXICAN FEATHER GRASS
 - 380 - WEEPING LOVE GRASS
 - 615s.f. - BLACK STAR CRUSHED STONE
 - 500s.f. - TEXAS RIVER ROCK MIX
 - 1 - OKLAHOMA MOSS ROCK BOULDER

BENCHMARKS:

- CP 101 - Square cut on headwall west side of Rochelle road & 54' south of center of Polar Point Drive Elevation = 559.95
- CP 103 - "X" in concrete east side of Rochelle Road, 1834' south of center of Polar Point Dr. Elevation = 564.54'
- CP 104 - Capped 5/8" Iron rod east side of Rochelle Road & 1250' south of the center of Polar Point Dr. Elevation = 572.70'
- CP 105 - Capped 5/8" Iron rod east side of Rochelle Road & 826' south of the center of Polar Point Dr. Elevation = 568.75'

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2020.

WITNESS OUR HANDS, this ____ day of ____, 2020.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

LINE TABLE		
NO.	DIRECTION	DISTANCE
L1	S 89°08'49" W	35.63'
L2	N 10°58'09" W	250.04'
L3	N 12°16'48" W	50.00'
L4	N 10°58'09" W	10.20'
L5	N 79°01'51" E	50.00'
L6	S 10°58'09" E	10.20'
L7	N 11°22'18" W	81.90'
L8	N 15°12'53" W	74.64'
L9	N 18°37'29" W	67.02'
L10	N 14°35'37" W	62.88'
L11	N 9°02'55" W	64.32'
L12	N 4°38'17" W	181.25'
L13	N 27°50'10" W	60.72'
L14	N 74°39'57" W	88.77'
L15	N 1°26'05" W	125.00'
L16	S 88°33'55" W	10.00'
L17	N 1°26'05" W	50.00'
L18	N 88°33'55" E	10.00'
L19	N 1°26'05" W	125.00'

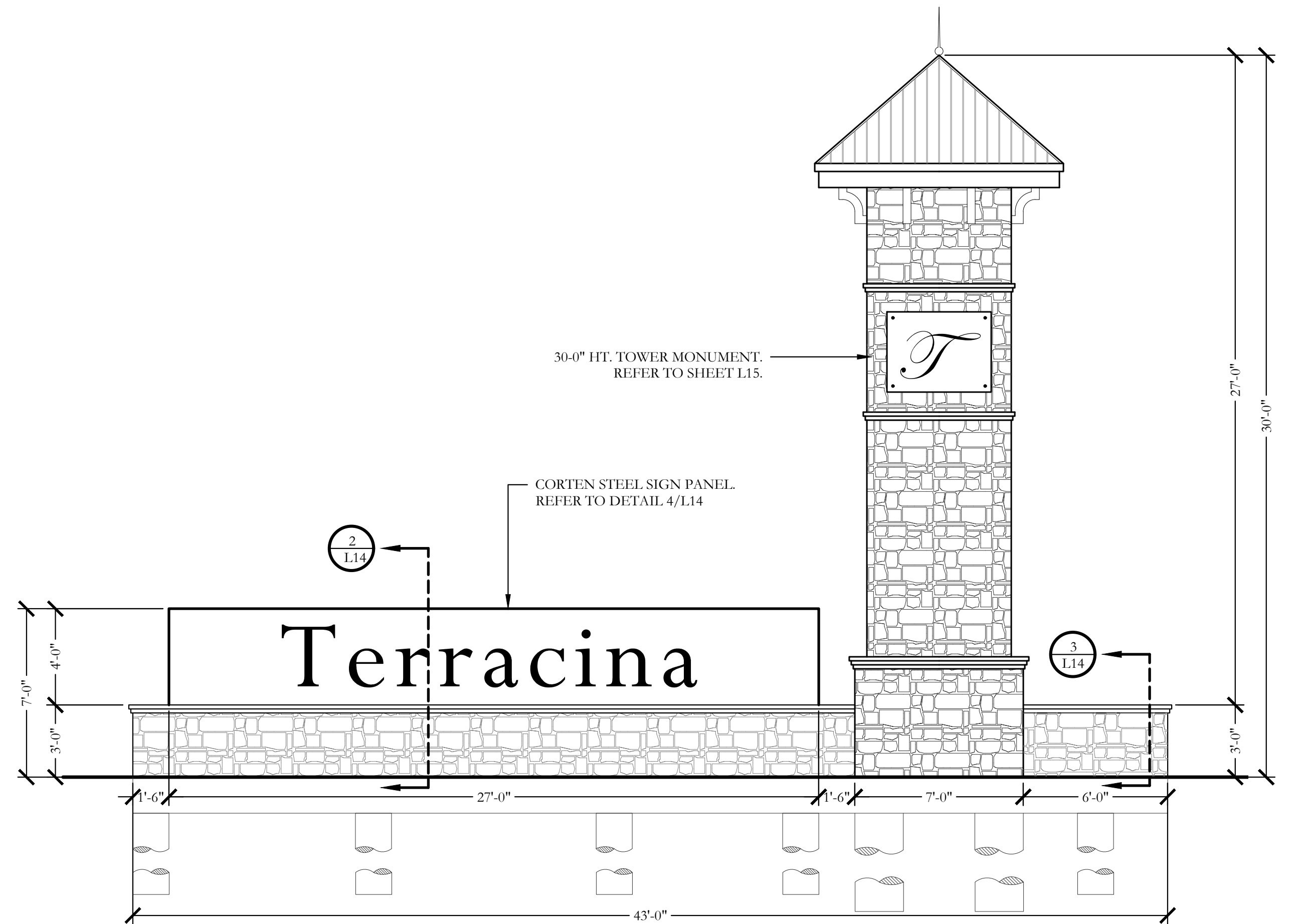
PD SITE PLAN
Case No. SP2020-020
TERRACINA ESTATES, PHASE 1
BEING
50.154 ACRES
SITUATED IN THE
JOHN A. RAMSEY SURVEY, A-186
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER
BLOOMFIELD HOMES L.P.
1050 E. HWY. 114, SUITE 210
SOUTH LAKE, TEXAS 76092
PHONE: 817-416-1572

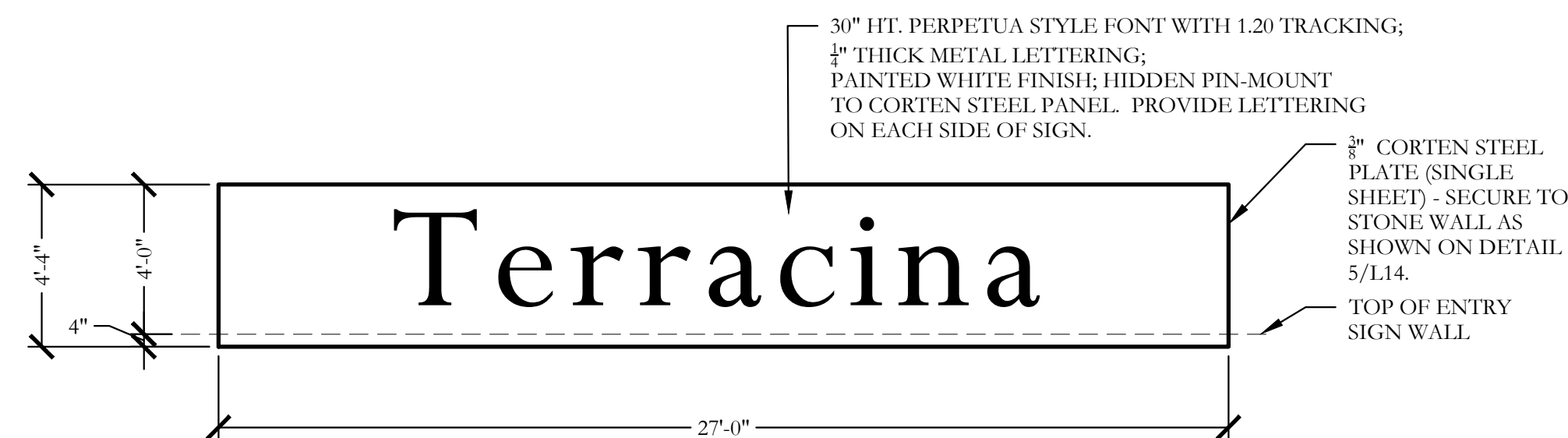
LAND SURVEYOR
ADAMS SURVEYING CO., LLC
1475 RICHARDSON DR., STE 255
RICHARDSON, TX 75080
(214) 395-9386
FAX (214) 295-9844
TBPELS FIRM NO. 10177500

ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLLIE TEXAS 76098
(972) 941-8400 FAX (972) 941-8401

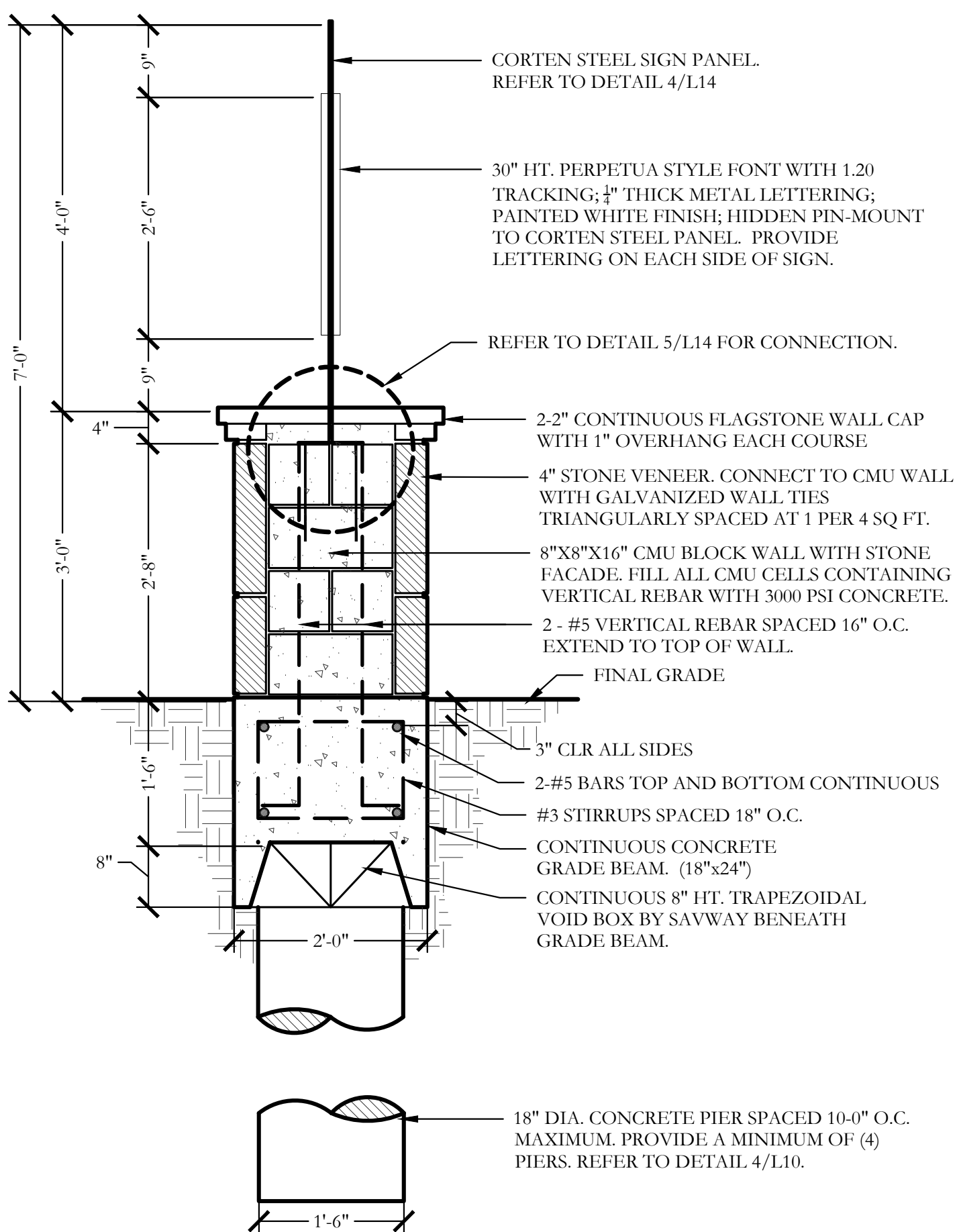
DATE: September 01, 2020 CASE NO. 2020-020 SHEET 1 OF 1
06537\DWG\6537 Final Plat Ph 1.dwg



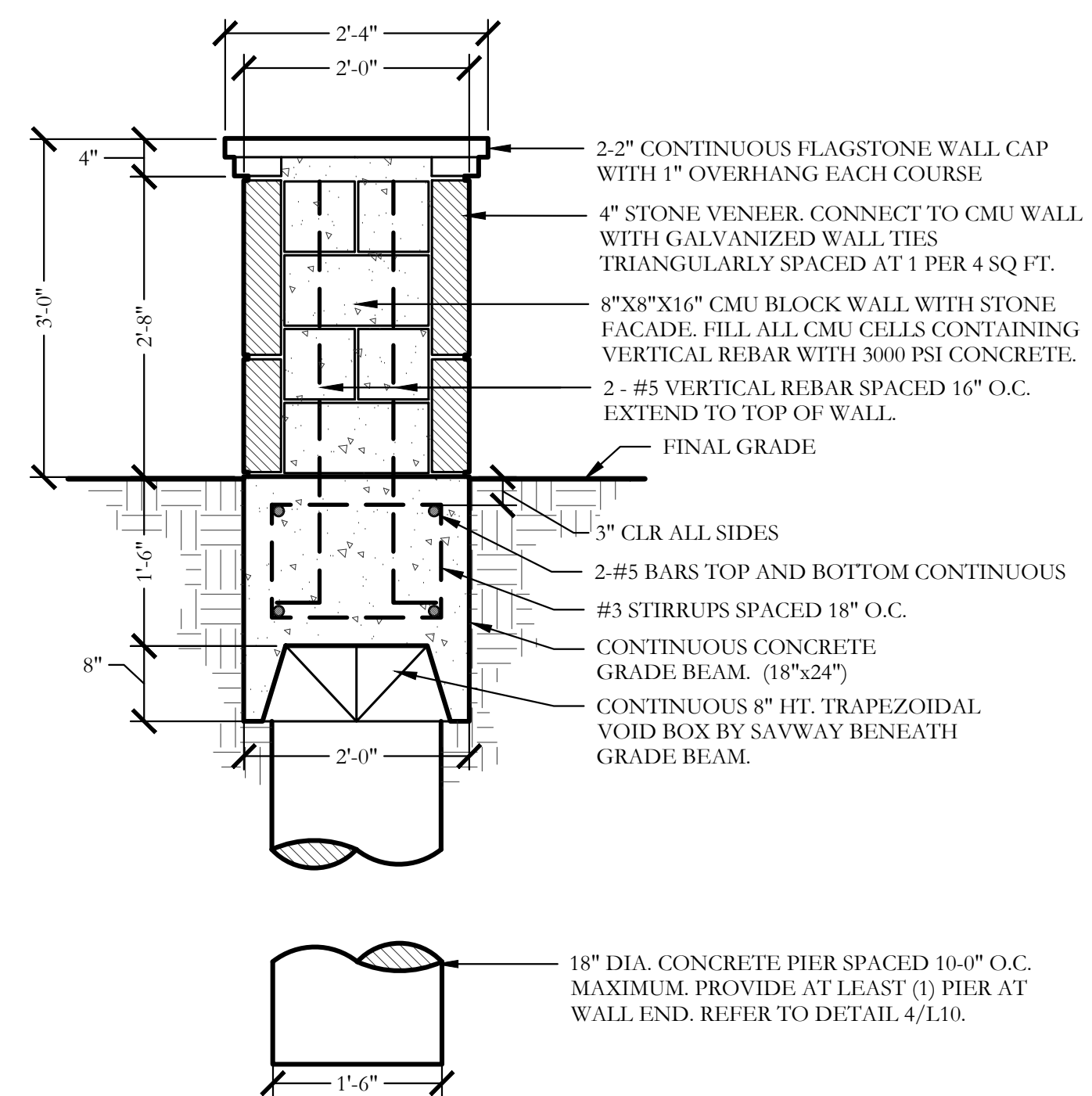
1 MAIN ENTRY MONUMENT ELEVATION SCALE: 1/4" = 1'-0"



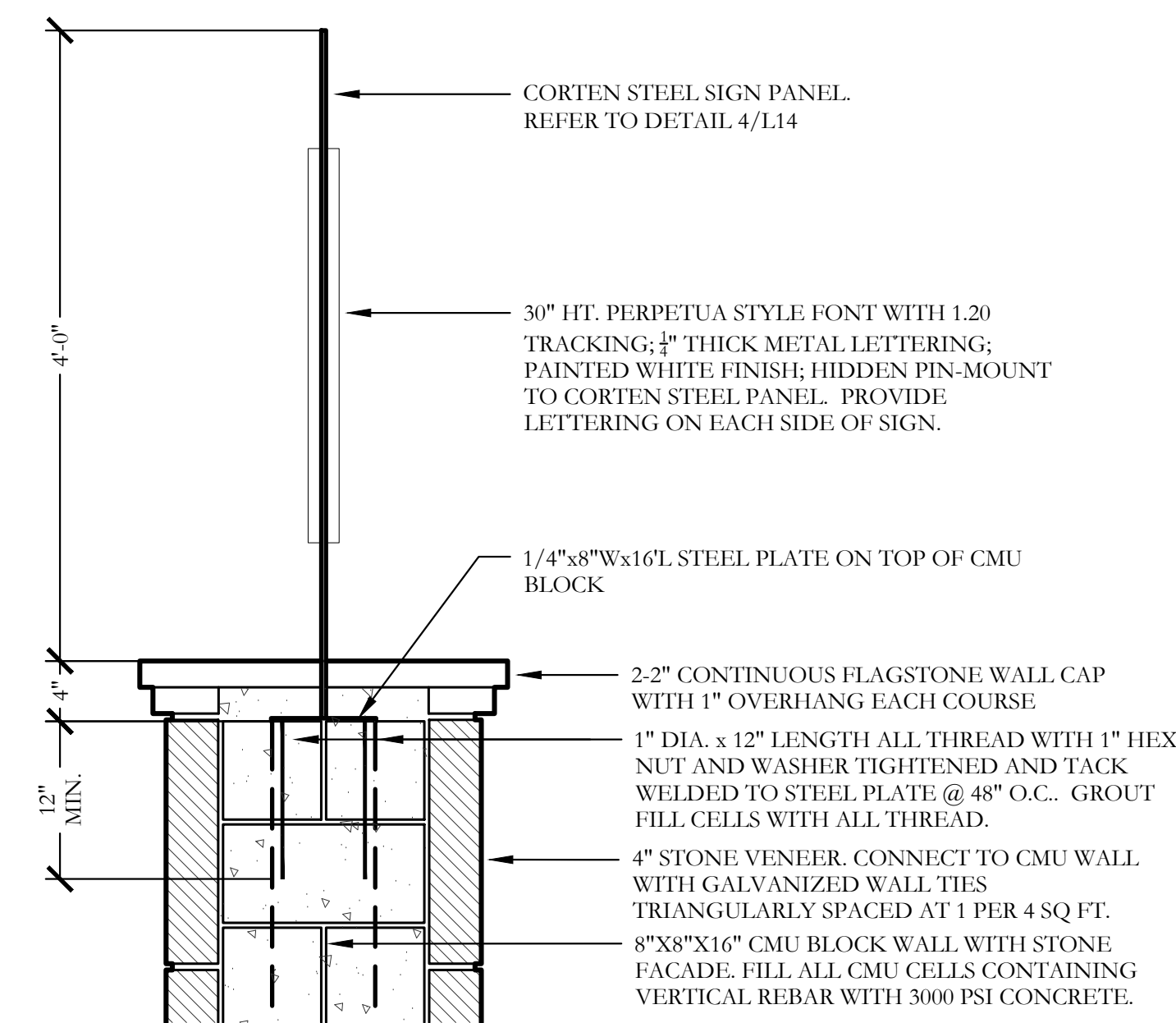
4 CORTEN STEEL SIGN PANEL ELEVATION SCALE: 1/4" = 1'-0"



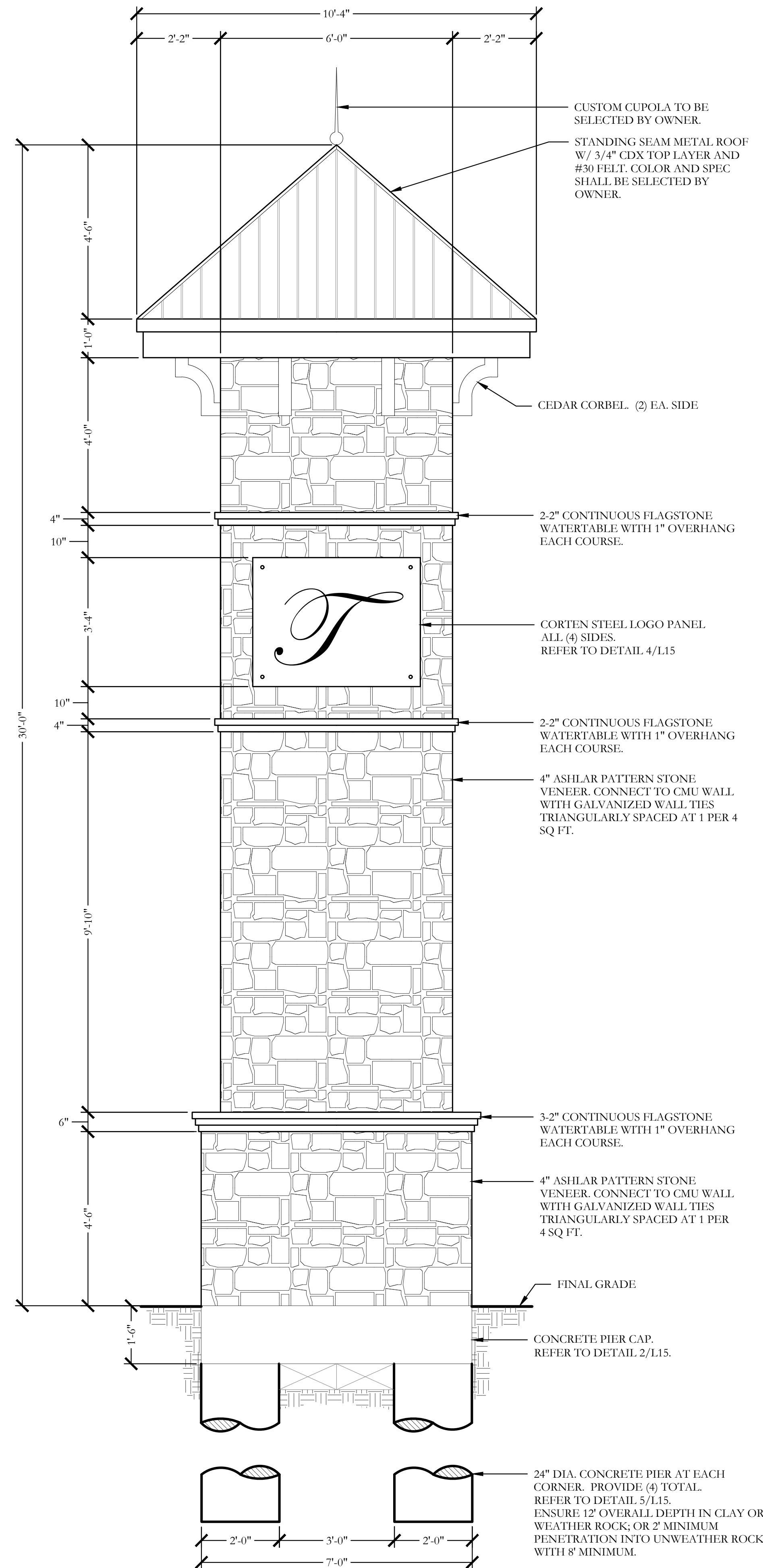
2 7'-0" MAIN ENTRY SIGN WALL SECTION SCALE: 3/4" = 1'-0"



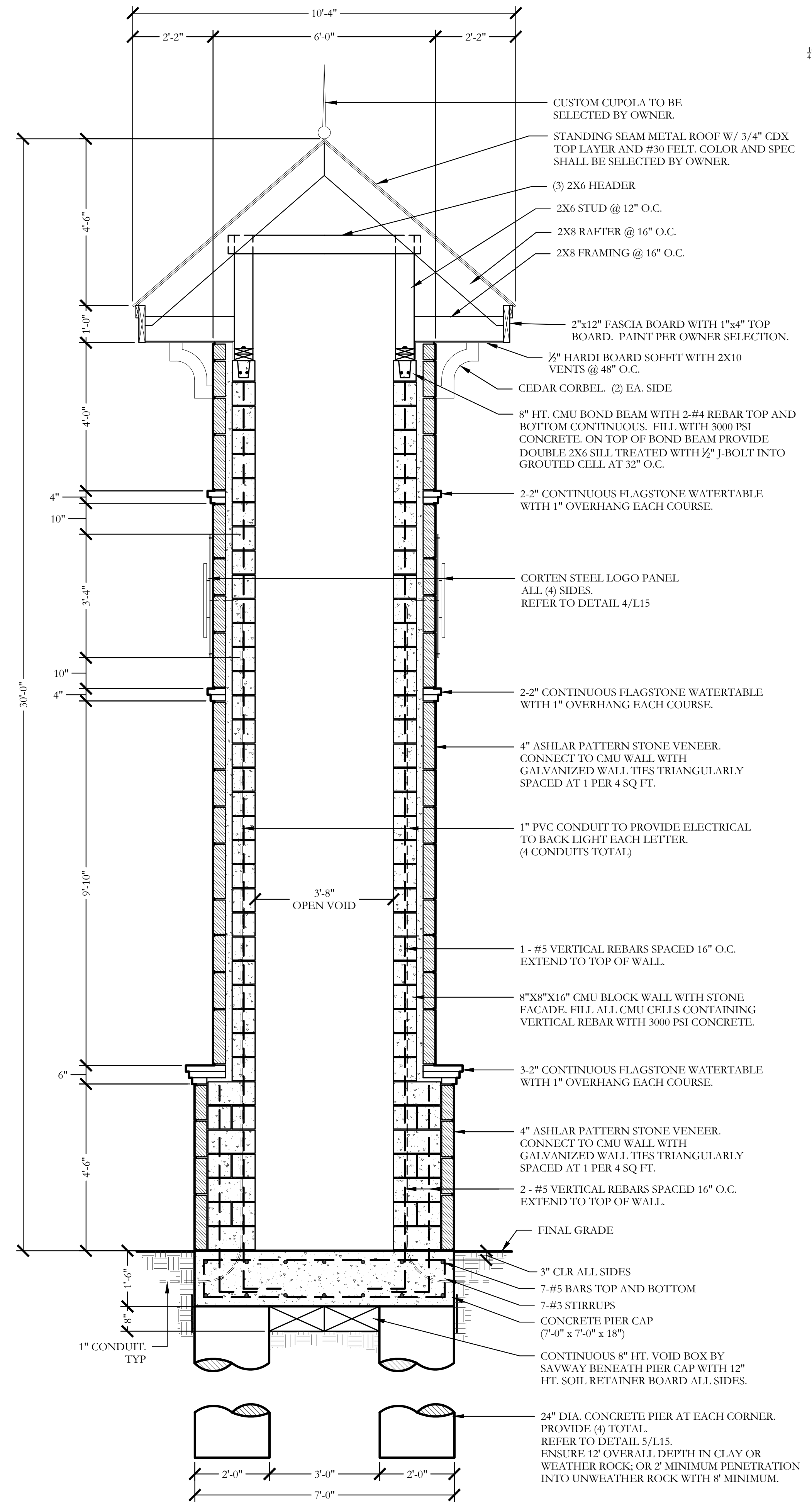
3 3'-0" MAIN ENTRY WALL SECTION SCALE: 3/4" = 1'-0"



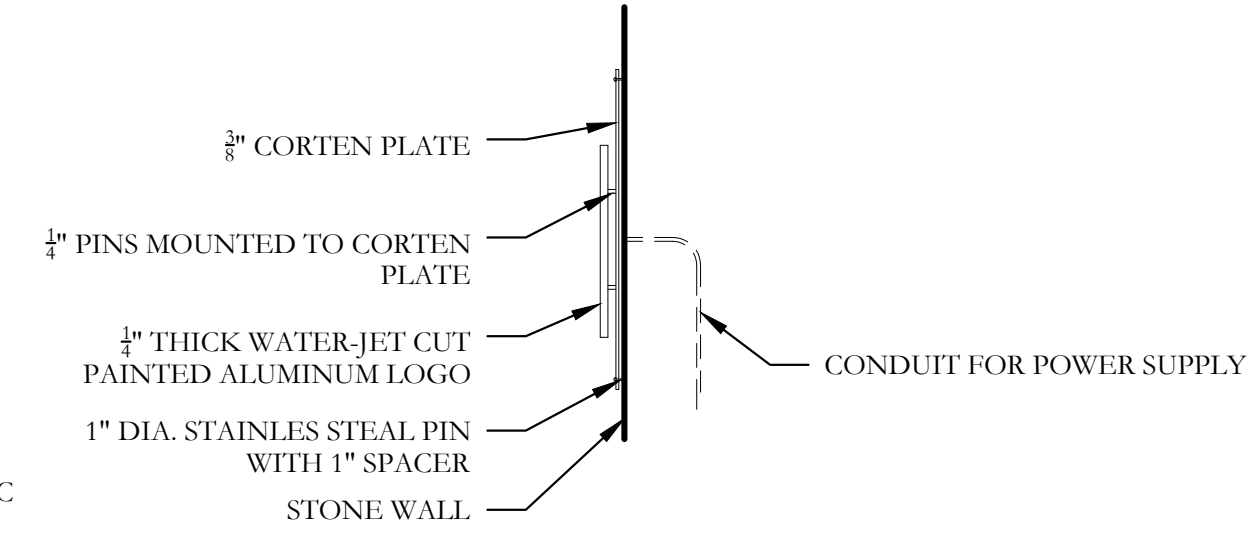
5 SIGN PANEL CONNECTION SECTION SCALE: 1" = 1'-0"



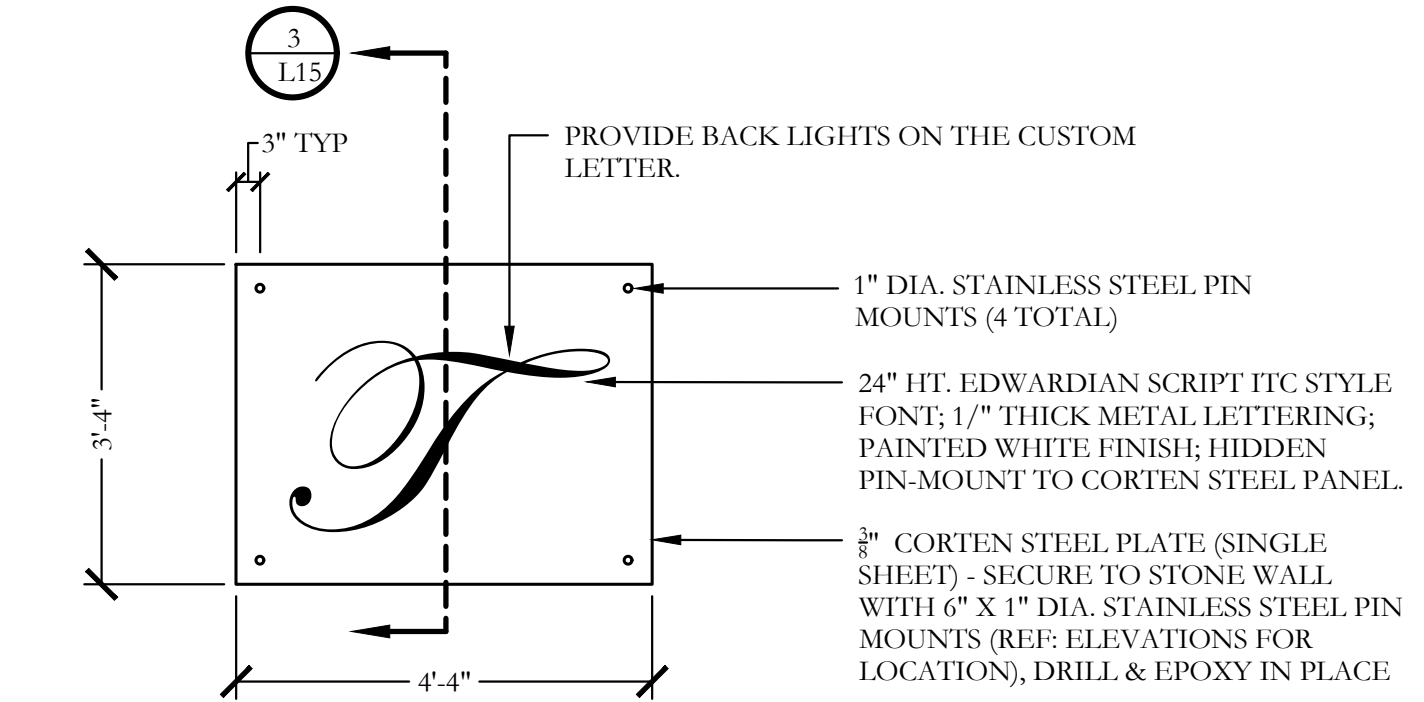
1 30'-0" HT. TOWER MONUMENT
ELEVATION
SCALE: 1/2" = 1'-0"



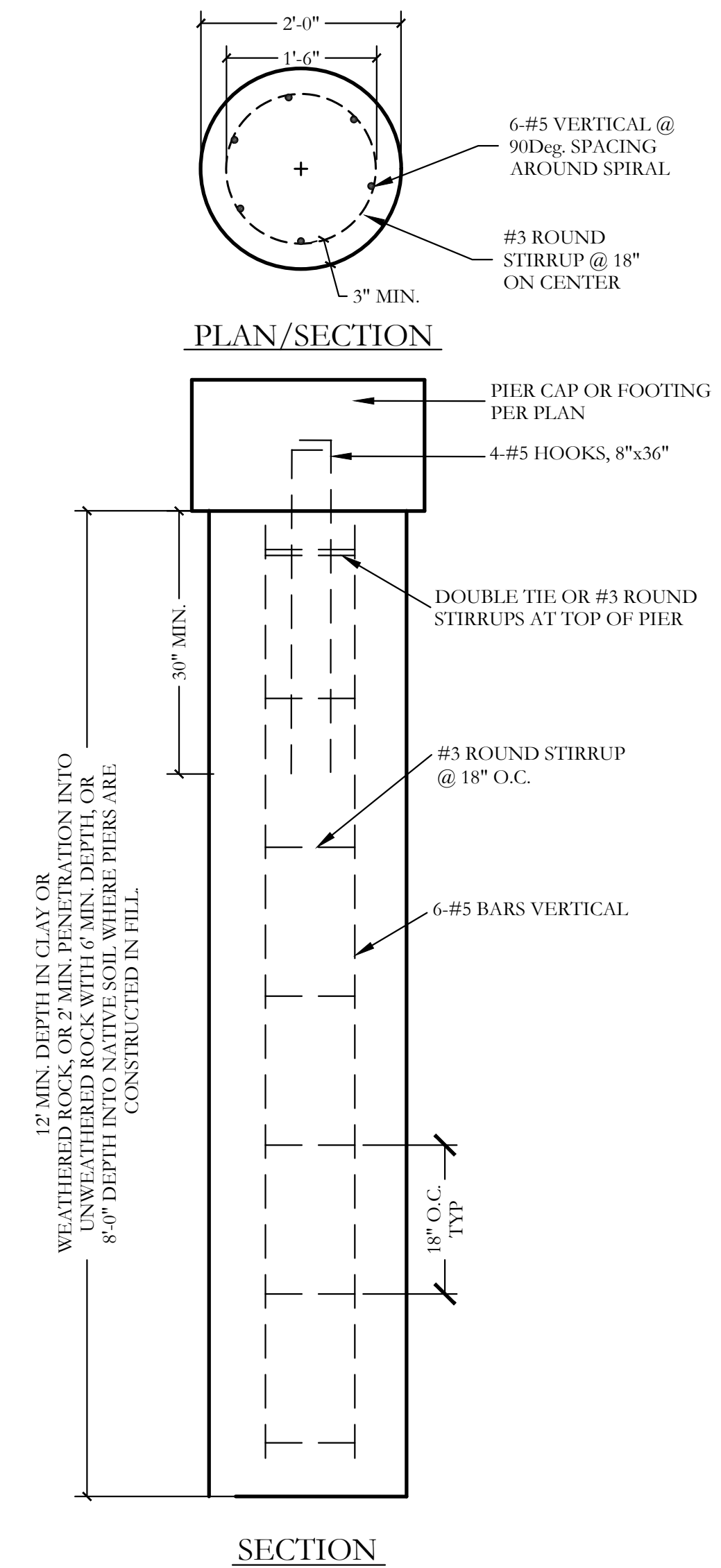
2 30'-0" HT. TOWER MONUMENT
SECTION
SCALE: 1/2" = 1'-0"



3 CORTEN STEEL LOGO PANEL
SECTION
SCALE: 1/2" = 1'-0"



4 CORTEN STEEL LOGO PANEL
ELEVATION
SCALE: 1/2" = 1'-0"



5 PIER (24" DIA.)
SECTION
SCALE: 3/4" = 1'-0"

Model: Steelworx Octagonal Shelter w/ Vented Top, 40'
Model # OC-40-SW-VT-612-TG-10E-CP

Manufacturing Mission: To provide all prefabricated components and installation instructions for a 40' octagonal (measured from eave to eave) free standing bolt together, tubular steel constructed shelter kit.

Design Criteria: Structure is typically designed for a 25 lb live load and a 90 mph wind load capacity, but can be designed based on specific site requirements upon request. All structural members are ASTM A-500 U.S. grade B steel. Welded connection plates shall be ASTM A-36 hot rolled steel. All fabrication performed to latest AISC standards by AWS Certified welders. All framing connections are done using A325 grade bolts within concealed access openings from above and will later be concealed by the roofing. All roof framing shall be flush against the roof decking to eliminate the possibility of bird nesting.

Tubular Steel Columns and Beams: Standard column dimension shall be 7" x 7" x 3/16" tubular steel welded to 5/8" base plates for surface mounting. Main support beams are 10" x 6" x 3/16" and purlins are between 6" x 4" x 3/16" to 5" x 3" x 1/8". Steel sizes are preliminary and may change due to ongoing review and final engineering.

Roof Deck: 2" x 6" (nominal) #1 Grade, end matched, single tongue and groove with V-joint bottom face, kiln-dried to an average of 15% moisture content, Southern Yellow Pine.

Roofing: 24 Ga. pre-cut steel Multi-Rib panels with Kynar 500 finish in a variety of colors with white underside. Roof slope is a 6/12 pitch with a eave height of 10'-0". Attached to structural framing with exposed screws painted to match roof color. Matching 24 Ga. trim included.

Frame Finish: All steel framework will receive a corrosion protective TGIC Polyester powder coat, electro-statically applied and cured at 400°F. A large selection of standard colors are available.

Foundation: All columns need to be anchored to concrete footings (footing design provided separately). Columns can be surface mounted to footings with anchor bolts at or below finish slab elevation or they can be embedded directly into the footing without base plates upon request. Anchor bolts and bracing templates are included. Optional base plate covers are available at an additional cost.

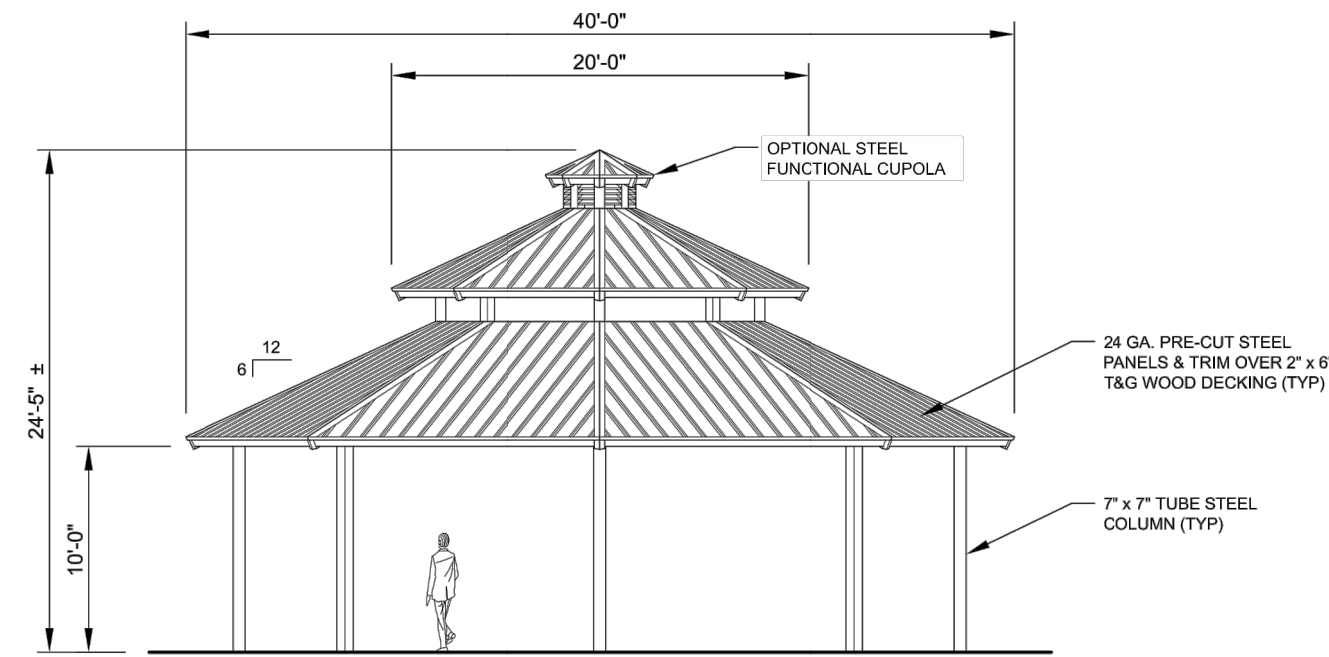
Hardware: All structural hardware and roofing fasteners shall be provided.

Warranty: 10 years against manufacturer defects.

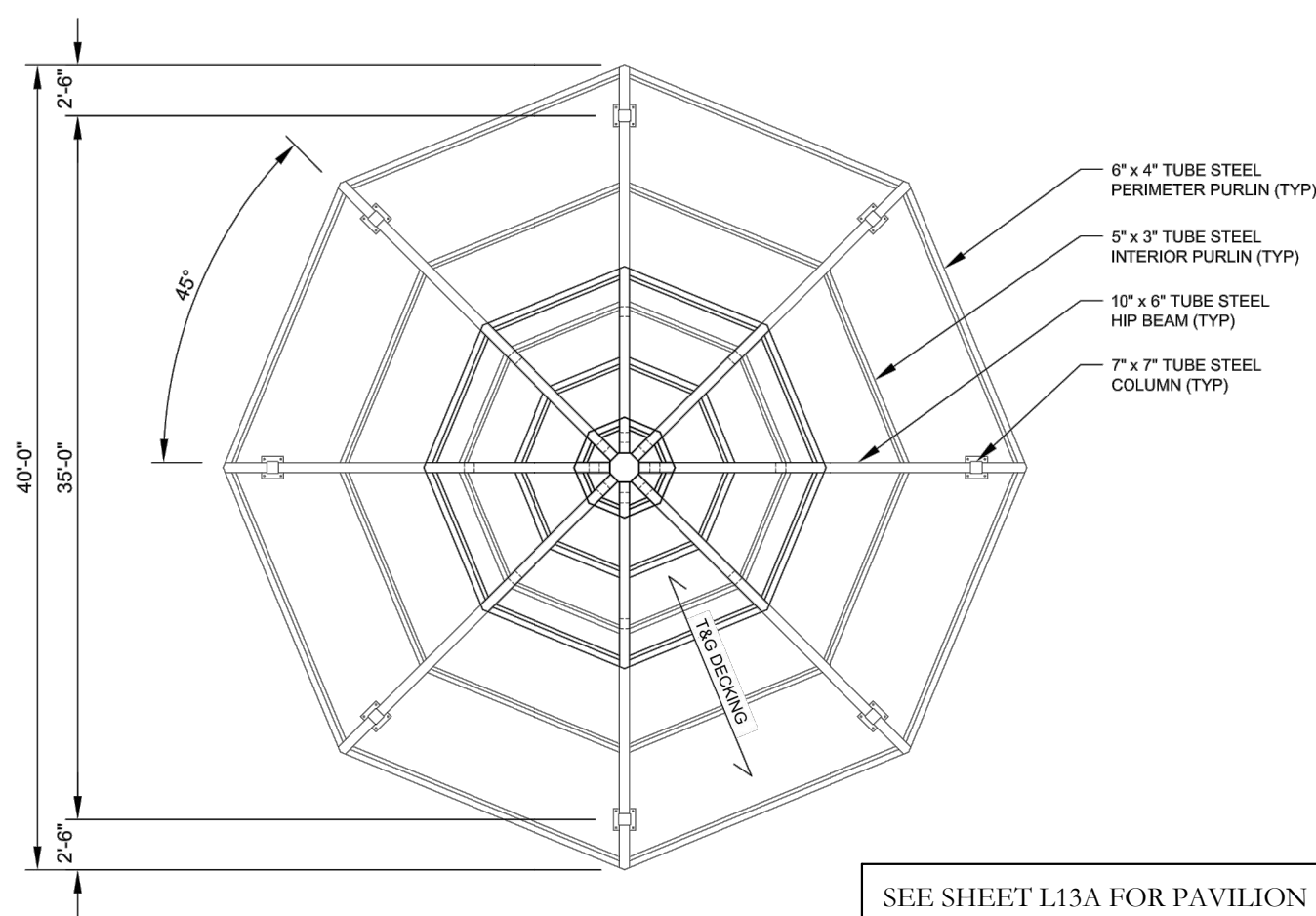
Not Included: Concrete work of any kind, unloading of product and installation.

Additional Options:

- Flexibility of Design
 - Such as: Height and Pitch
- Additional Engineering
- Variety of Colors
- Decorative Railings, Lattice, Braces, Trim, etc.
- Cupolas and Rooftop Accs.
- Column Style Variations
- Provisions for Electrical
- Lexan Wind Screens
- Tongue & Groove Roof Decking
- Asphalt Shingles, Standing Seam, Cedar Shake, or Clay Tile Roofing
- Composite Finished Ceiling
- Site Furnishings and Accs.
- Solar Panels & Solar Lighting



ELEVATION
SCALE: NTS



FRAMING PLAN
SCALE: NTS



11900 East 9 Mile Road
Warren, MI 48090
Office: (586) 486-1088
Fax: (586) 754-9130
Toll Free: (800) 657-6118
Email: info@coverworx.net
www.CoverWorx.net

Steelworx Octagonal Shelter w/ Vented Top - 40'

Model: OC-40-SW-VT-612-TG-10E-CP

DESIGN SPECIFICATIONS

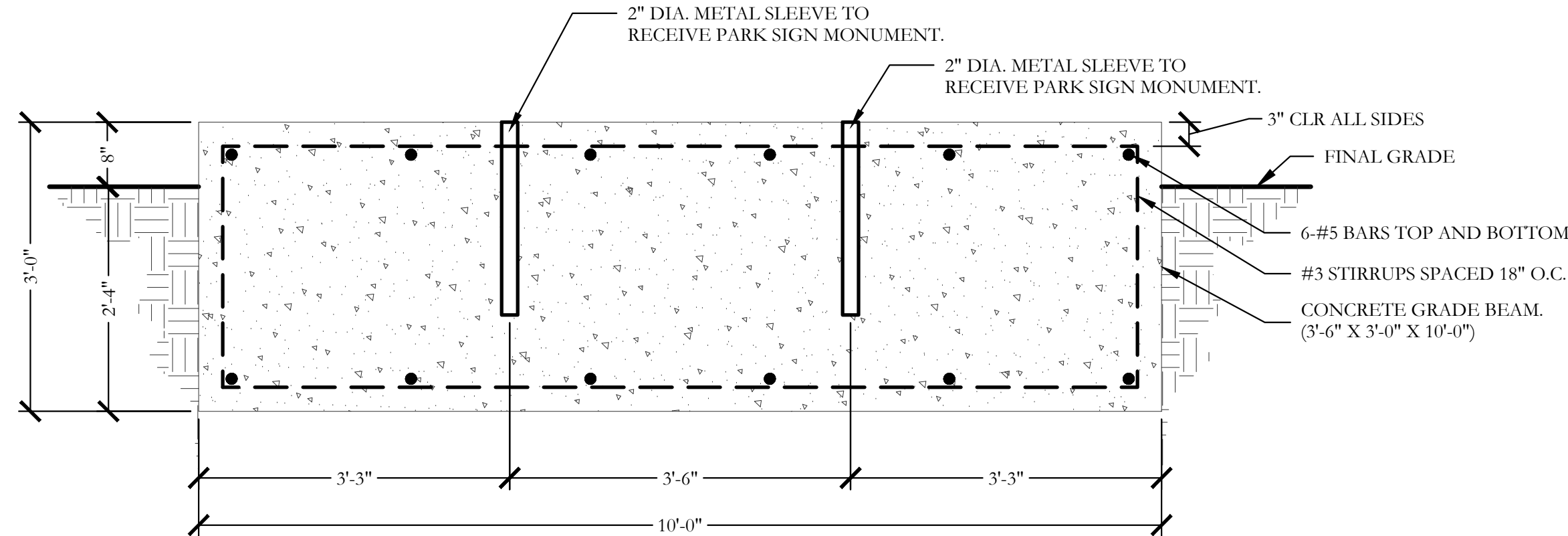


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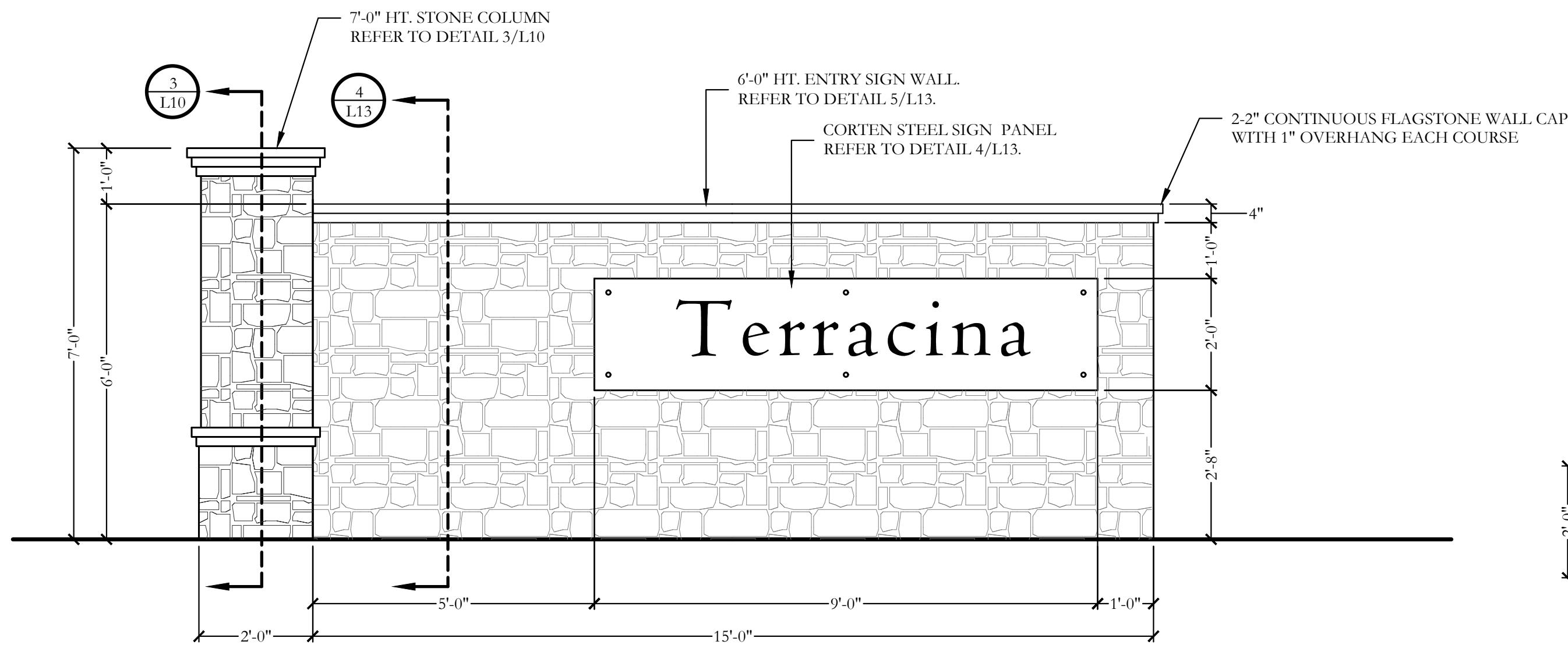
DESIGN SPECIFICATIONS



PARK SIGN BASE
SECTION

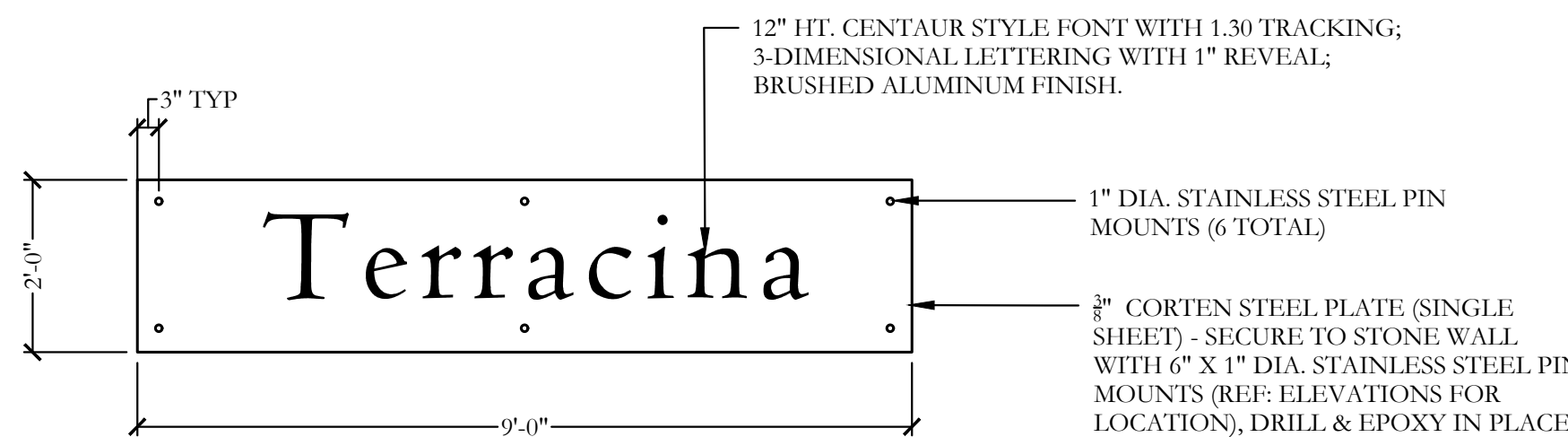
SCALE: 3/4"=1'-0"

1 HEXAGONAL PAVILION DETAILS
PLAN/SECTION



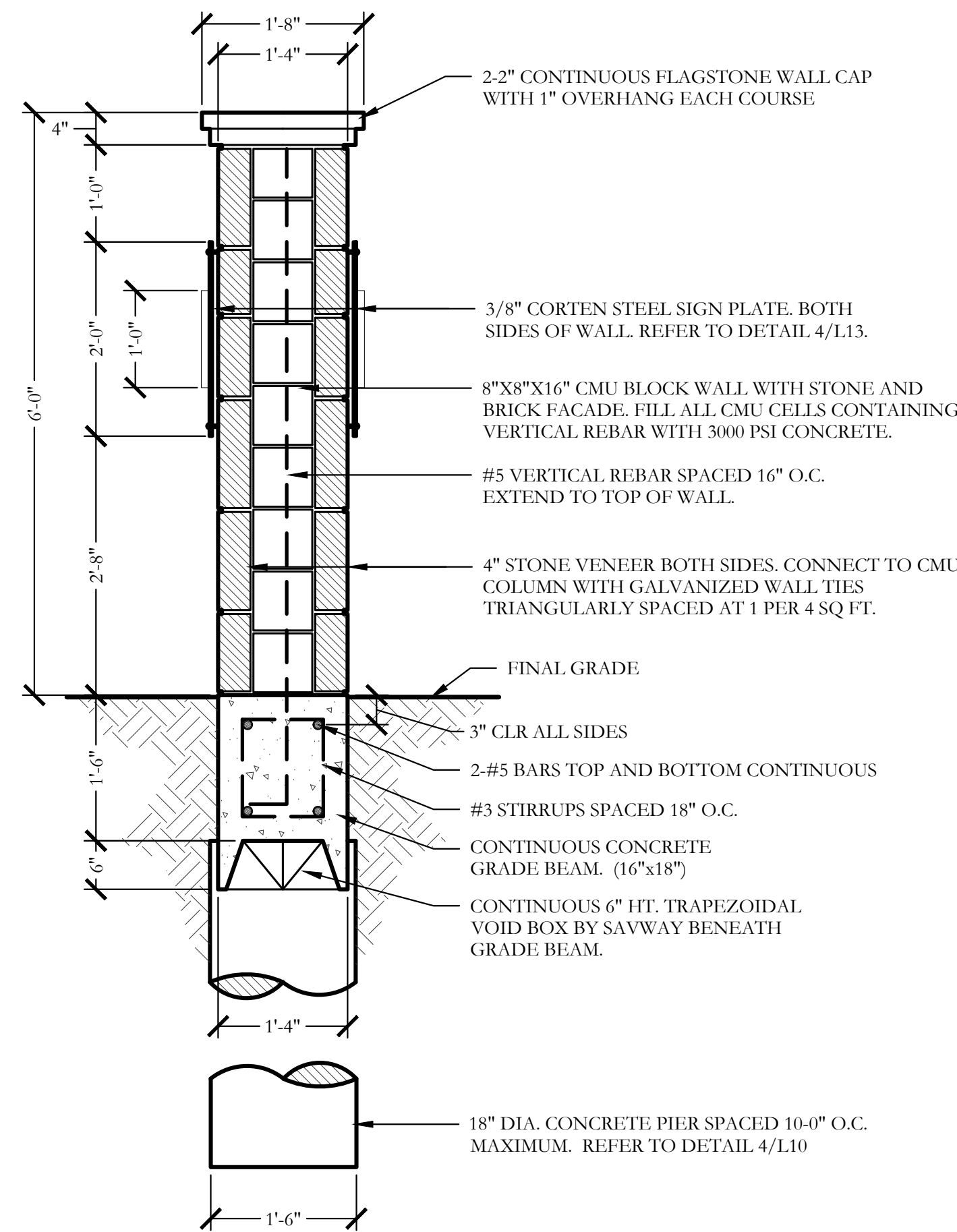
ENTRY SIGN PANEL
ELEVATION

SCALE: 1/2"=1'-0"



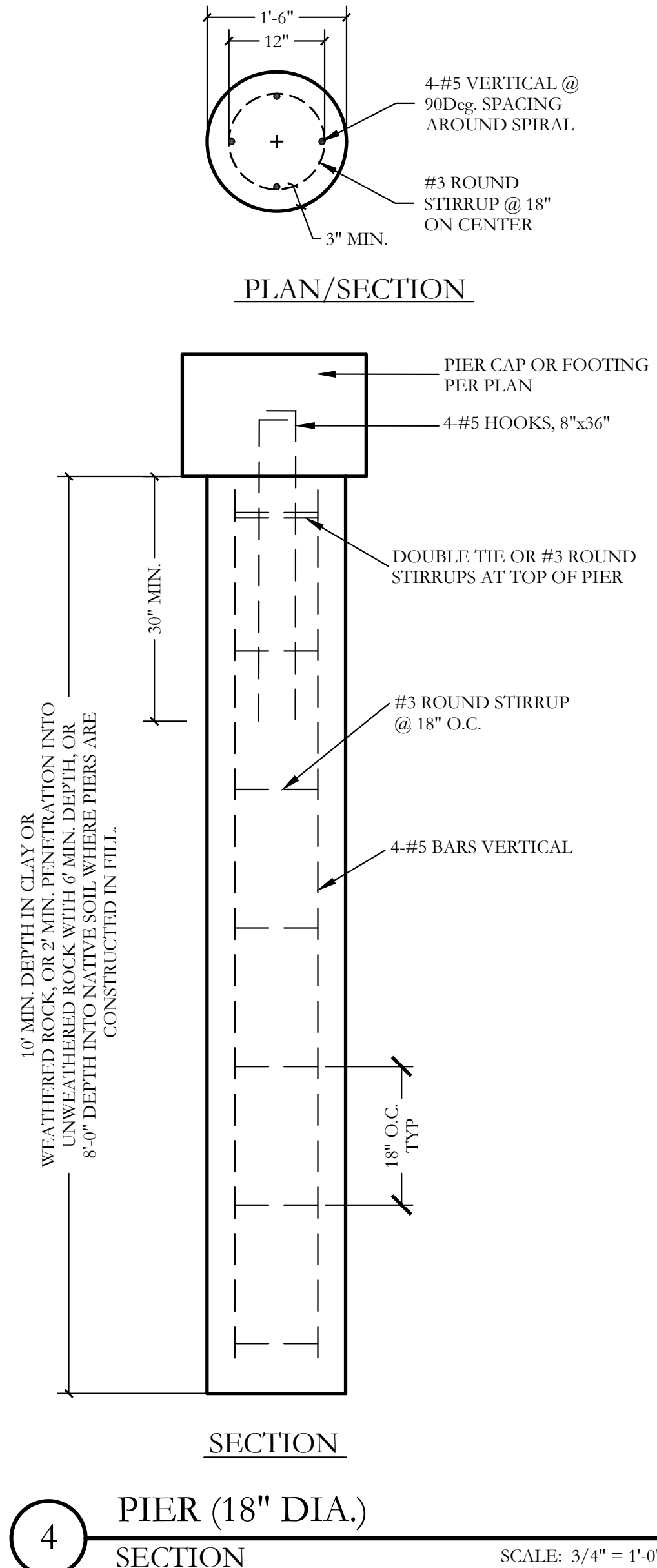
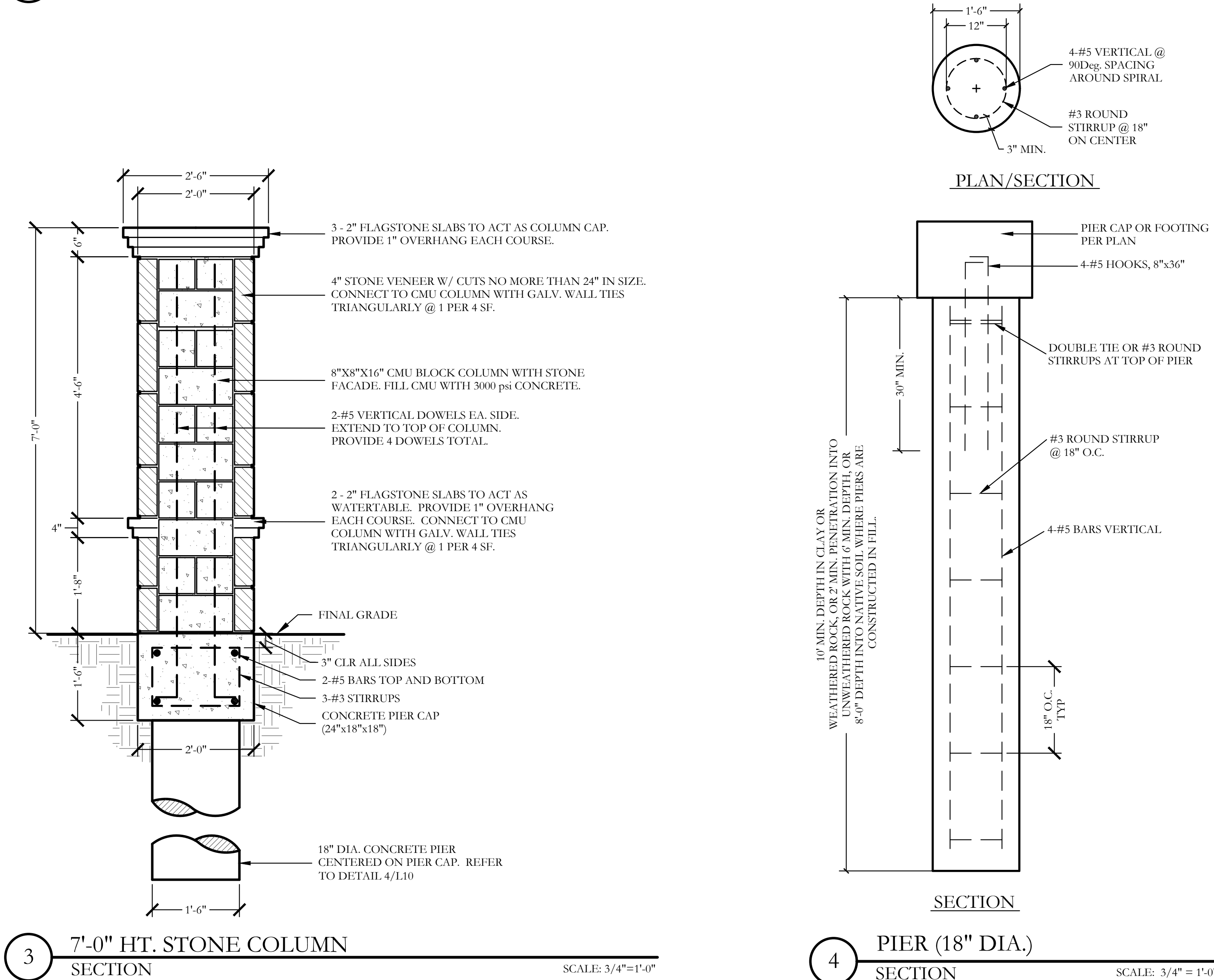
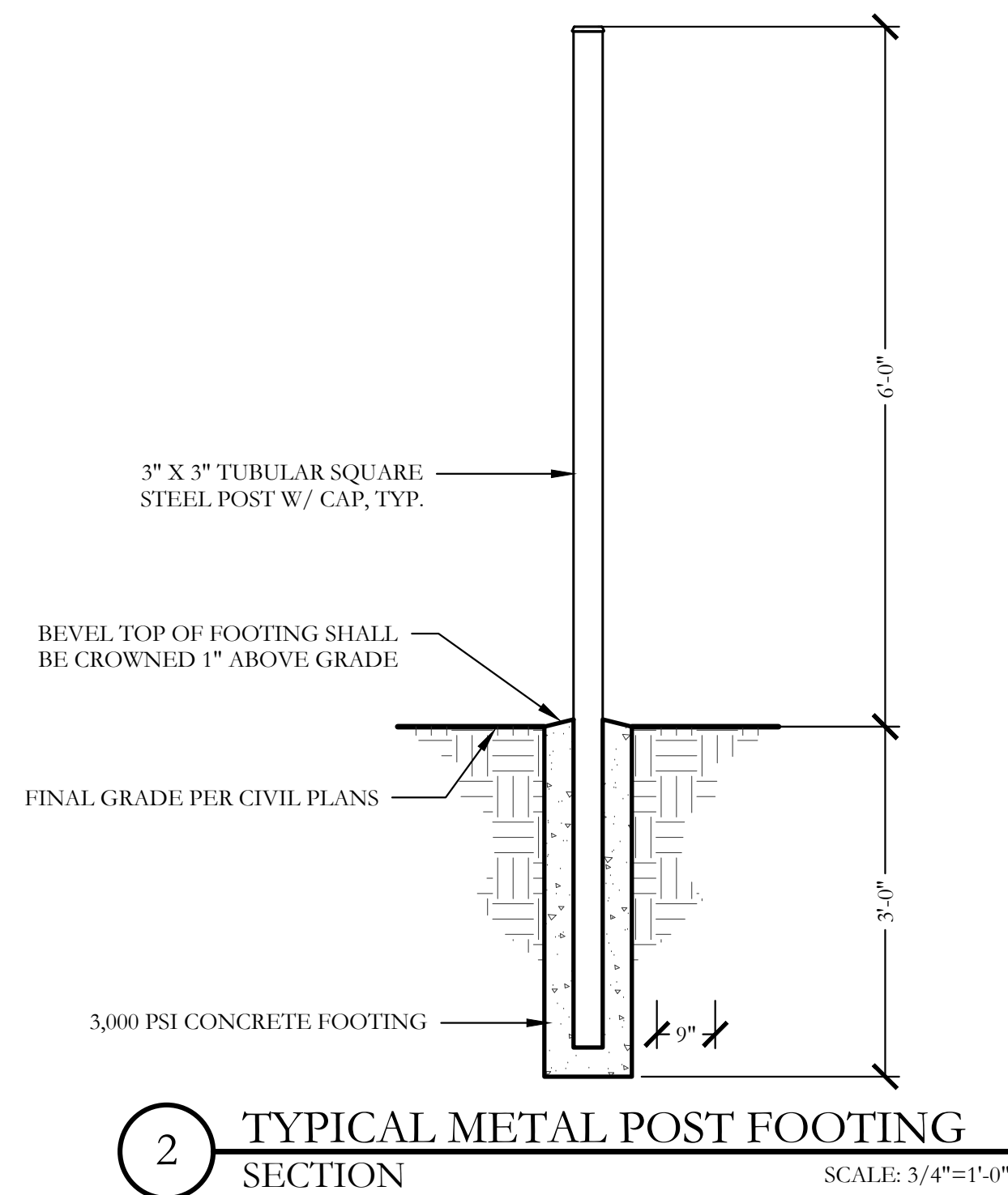
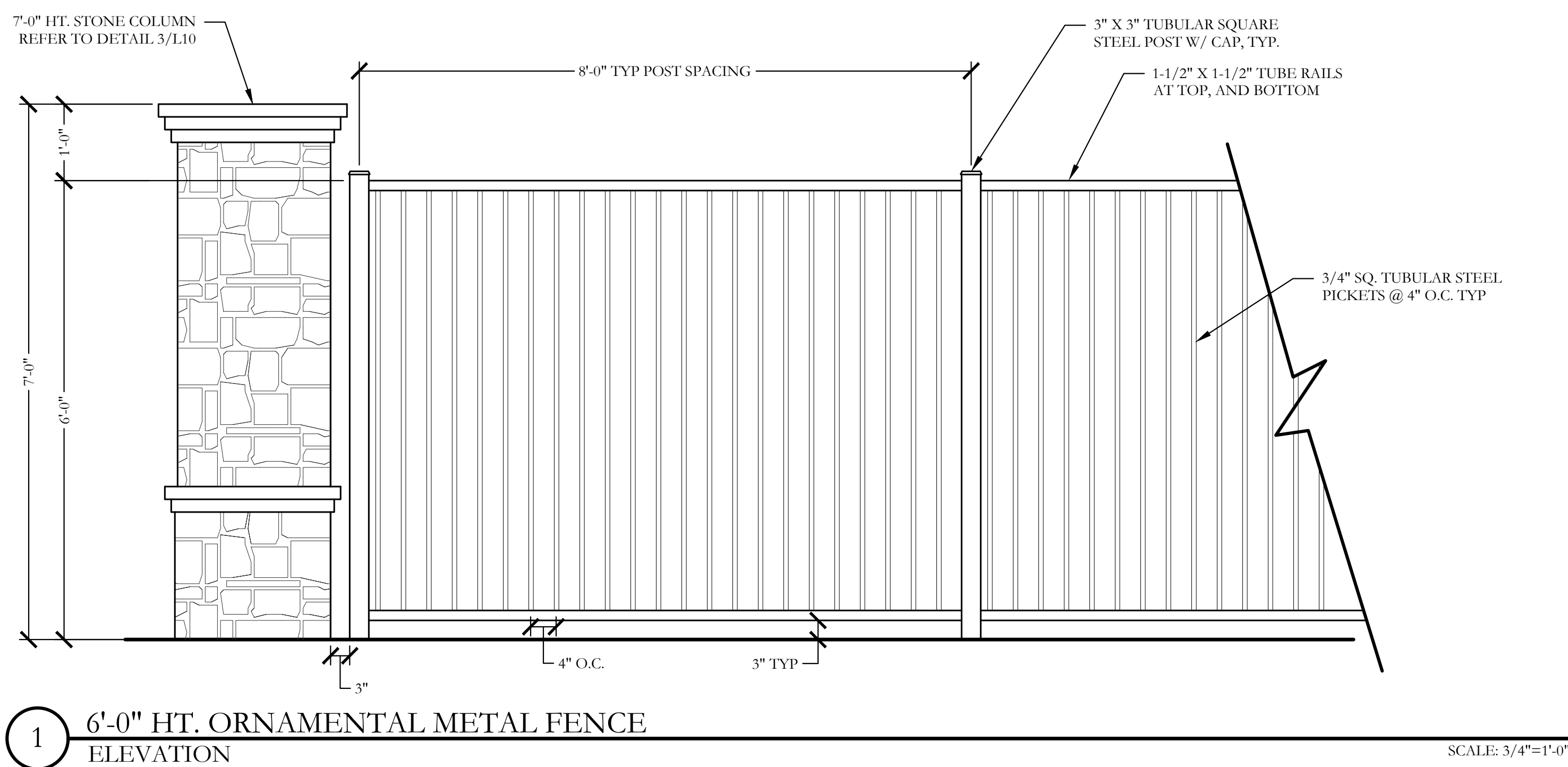
CORTEN STEEL SIGN PANEL
ELEVATION

SCALE: 1/2"=1'-0"



6'-0" HT. ENTRY SIGN PANEL
SECTION

SCALE: 3/4"=1'-0"



ORNAMENTAL METAL FENCE NOTES

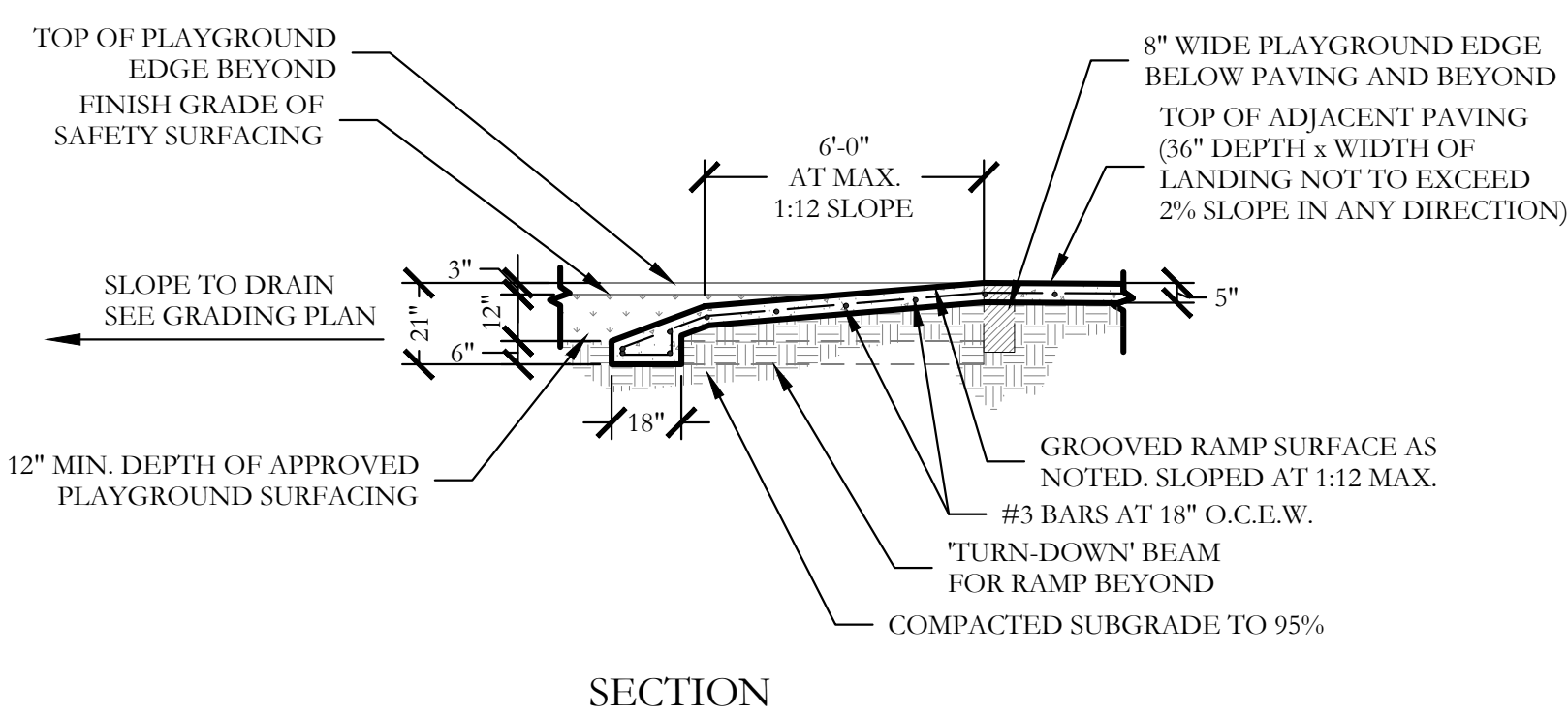
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
4. ALL ORNAMENTAL METAL, TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1/2" SQUARE 16 GA.
 - 10.3. POSTS, 3" SQUARE 11 GA.
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
12. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
14. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UP-SIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

WALL NOTES

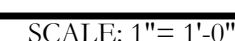
1. THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
3. ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
4. PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
5. ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
6. ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A82, GRADE 60.
7. CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES.
8. RELATE TO DETAILS FOR TYPE S, MORTAR OF BRICK AND STONE WALL REINFORCING.
9. ALL MORTAR TO BE TYPE S; MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
10. ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
11. STONE AND FLAGSTONE VENEER SHALL BE SELECTED BY OWNER.
12. VERIFY ALL DIMENSIONS IN THE FIELD BEFORE MANUFACTURING STONE AND STONE SLABS USED FOR THE SIGN MONUMENTS.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
14. LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
15. THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSES LEVEL AND PLUMB DO NOT EXCEED 1/4" VARIATION FROM LEVEL IN 20 FEET MAXIMUM.
16. CLEAN STONEWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
17. THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONE WORK ON THE PROJECT.
18. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED. THE CITY OF ROCKWALL WILL REQUIRE A SEALED CERTIFICATION THAT THE WALL CONSTRUCTION WAS PERFORMED IN ACCORDANCE WITH THE DESIGN DRAWINGS.

WALL LAYOUT NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES.
2. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN SHOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS.
4. THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER.
5. ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE 3" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6".
6. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
7. THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY ACCEPTANCE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO PRE-CONSTRUCTION CONDITION.

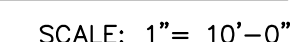
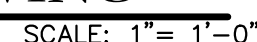



SCALE: 1/4"= 1'-0"



PLAYGROUND NOTES:

1. PLAYGROUND SURFACE TO BE APPROVED ENGINEERED HARDWOOD FIBER CHIPS.
2. 1/2" REDWOOD EXPANSION JOINTS SHALL BE PROVIDED WHERE SHOWN ON THE PLAN. EXPANSION JOINTS SHALL BE CONTINUOUS THROUGH THE WALK AND CONCRETE EDGE WHERE ADJACENT. INSTALLED VERTICAL EXPANSION JOINTS IN PLAYGROUND EDGE ON MAXIMUM 30 FOOT CENTER.
3. CONTRACTOR TO EXCAVATE FULL DEPTH OF PLAYGROUND BORDER WHERE SHOWN AS AREA TO BE EXCAVATED.
4. ALIGN RAMP WITH TRANSFER STATION OF PLAYGROUND EQUIPMENT





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TITLE

CITYVIEW
BACKED BENCH

PRODUCT NO.

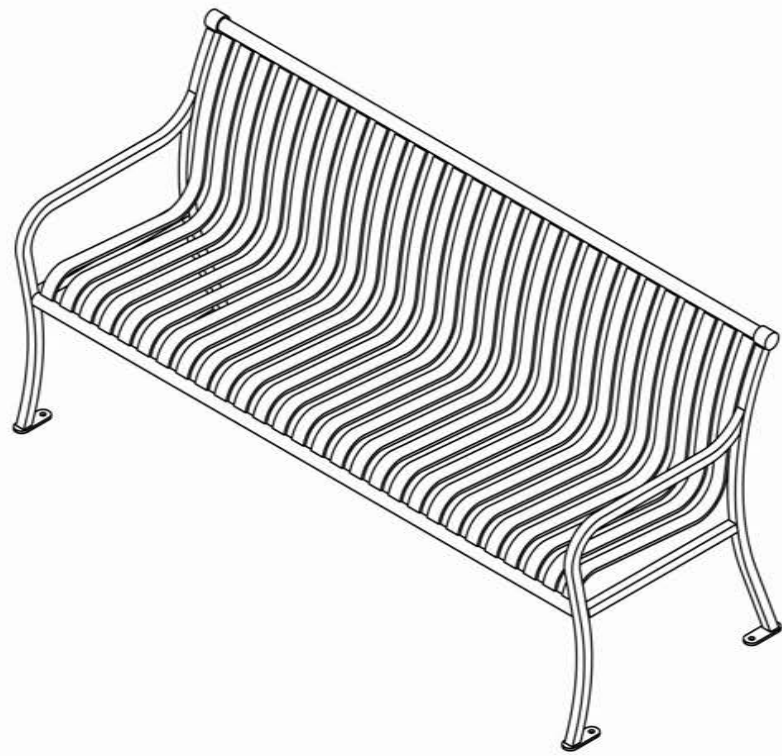
CV1-1000


INCH TOLERANCES U.O.S.

FRACTION--± 1/16"
ANG-----± 1°

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.

*Available in powder coat and DuraCoat finishes





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Materials List

(1) Seat Straps - 5/16" x 1 1/2" Steel Flat Bar
(2) Support Pipes - Ø 1.315" x .133" Steel Pipe
(3) End Units - 1" Square Solid Steel Bar
(4) Surface Mount Plates - 1/4" x 1 1/2" Stainless Steel Plate with 9/16" Mounting Hole
(5) Mounted with Four Ø 1/2" x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)

TOP VIEW

27 3/4"

71" O.C.
72"

FRONT VIEW

33 7/8"

RIGHT SIDE VIEW

24"


17 1/8"

19" CENTER OF HOLES

3

4

1 BENCH



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TITLE

CITYVIEW
TRASH RECEPTACLE

PRODUCT NO.

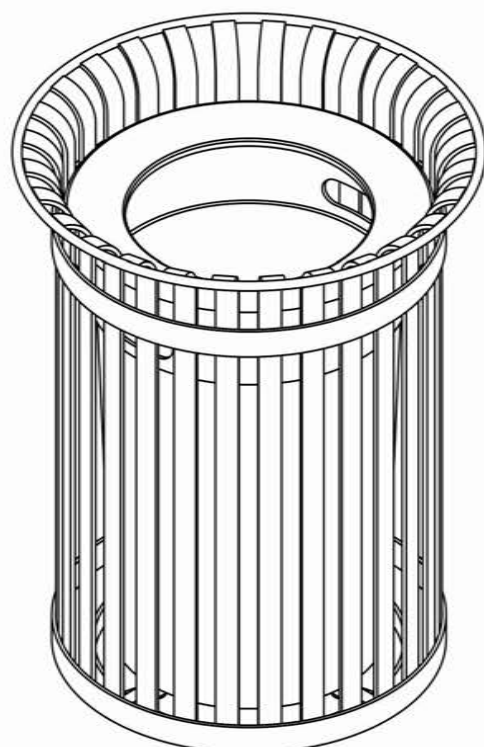
CV2-1000


INCH TOLERANCES U.O.S.

FRACTION--± 1/16"
ANG-----± 1°

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TITLE

CITYVIEW
TRASH RECEPTACLE

PRODUCT NO.

CV2-1000

INCH TOLERANCES U.O.S.

FRACTION--± 1/16"
ANG-----± 1°

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*Available in powder coat and DuraCoat finishes

Materials List

(1) Vertical Straps - 5/16" x 1 1/2" Steel Flat Bar
(2) Top Ring - Ø 5/8" Steel Round Bar
(3) Support Rings - 1/4" x 2" Steel Flat Bar
(4) Support Bars - 1/2" x 1" Steel Flat Bar
(5) Surface Mount Plates - 1/4" x 1 1/2" Stainless Steel Plate with 9/16" Mounting Hole
(6) Lid - Ø 24" x .075" Wall Steel Lid
(7) Attached to Basket with Stainless Steel Airline Cable
(8) Mounted with Three Ø 1/2" x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)
(9) 40 Gallon Rigid Plastic Liner with Handles Included

TOP VIEW

Ø 16"

Ø 30 5/8"

FRONT VIEW

40 5/8"

BOTTOM VIEW MOUNTING DETAIL

12 1/8"

2

3

1

5

4

2 TRASH RECEPTICAL

3 PET WASTE STATION

DOGIPOT Complete Pet Station

The new DOGIPOT Pet Station includes a powder coated lid, hinged and attached directly to the 10 gallon waste receptacle. We have also invented a better and improved product entitled the 4' - 8' Galvanized Telescope Square Post. This rust-resistant post will be shipped as a 4' long and 2" x 2" wide package, and comes with the hardware to extend the post to any desired length between 4' and 7+ foot. Both of our reflective aluminum signs, "On-Leash" or "Pet Exercise Area" are available for an economical price in Accessories.

ALL INCLUSIVE FEATURES::

DOGIPOT Junior .08 Gauge Aluminum Bag Dispenser
Powder coated, forest green
15.5" x 9.4" x 3.25"
Locking front access panel with clear instructions and "Please clean up after your dog" sign
400 Biodegradable opaque brown pick up litter bags installed (2 rolls @ 200 bags)
4' to 8' galvanized telescope post
10 Gallon steel trash receptacle
Pet Sign, 18" x 12" aluminum
50 Heavy duty receptacle liner bags
Assembly material
Ship weight: 45 lbs.
Item # KDP1003

1. Junior Bag Dispenser

2. Powder coated, forest green 10 gallon waste receptacle with attached stainless steel lid.

3. Reflective aluminum Dogipot Sign, On Leash for Private Communities or Off Leash for Dog Parks

4. 2 rolls @ 200 bags of opaque brown, 13" long by 8" wide, biodegradable litter bags.


5. One roll @ 50 Trash Liner Bags

6. Mounting Material

7. MULTIPURPOSE 4' - 8' GALVANIZED TELESCOPE SQUARE POST

CODY JOHNSON

s · t · u · d · i · o



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REGISTERED LANDSCAPE ARCHITECT

CODY L. JOHNSON

2853

STATE OF TEXAS

September 2, 2020

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING

Landscape Details

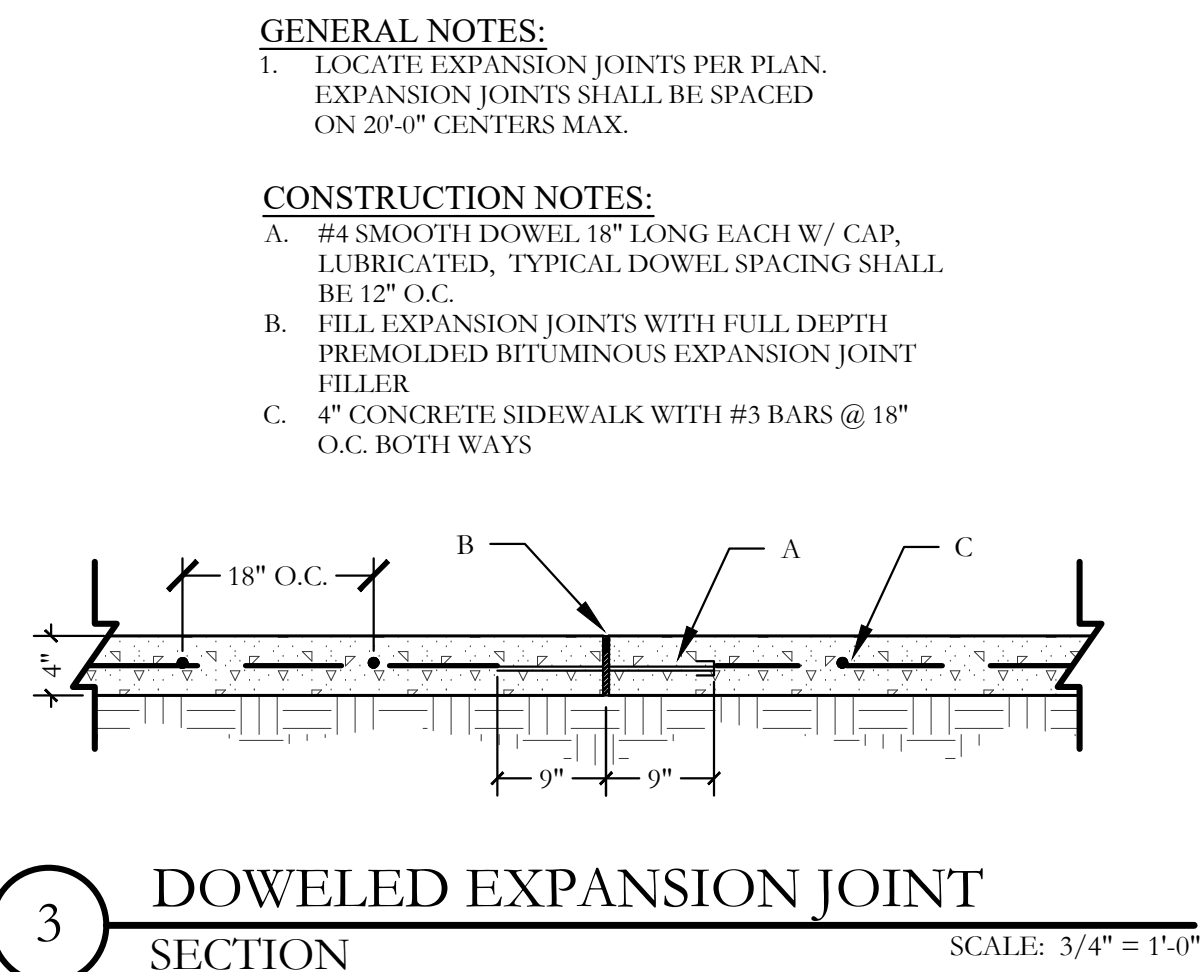
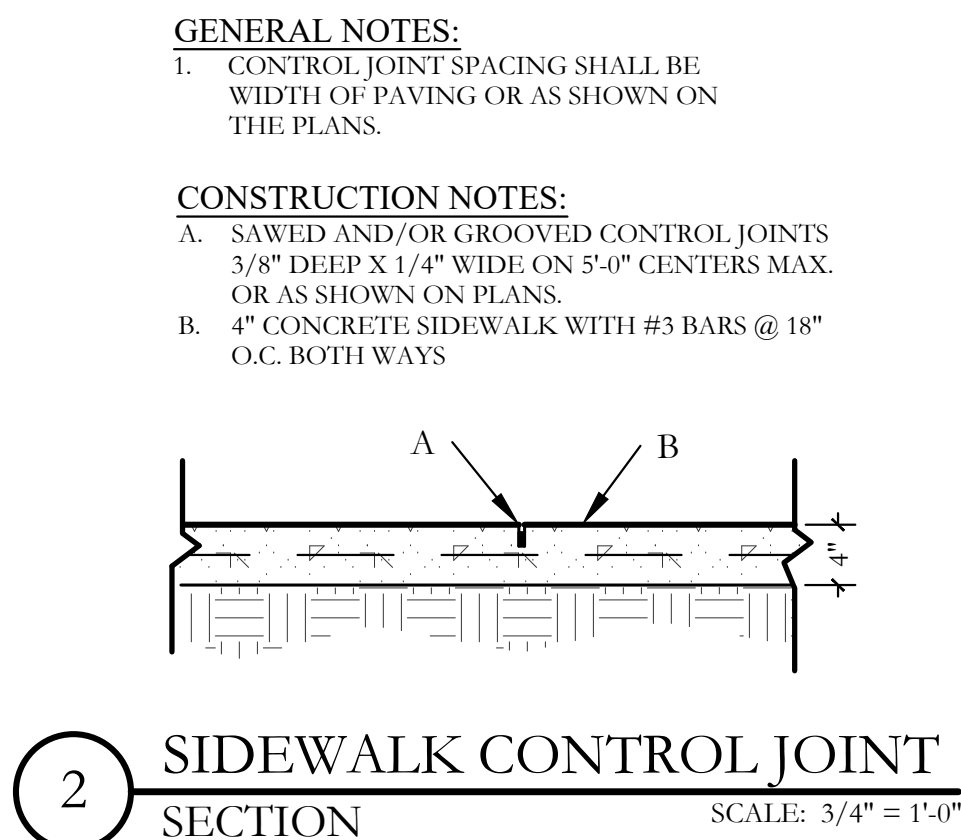
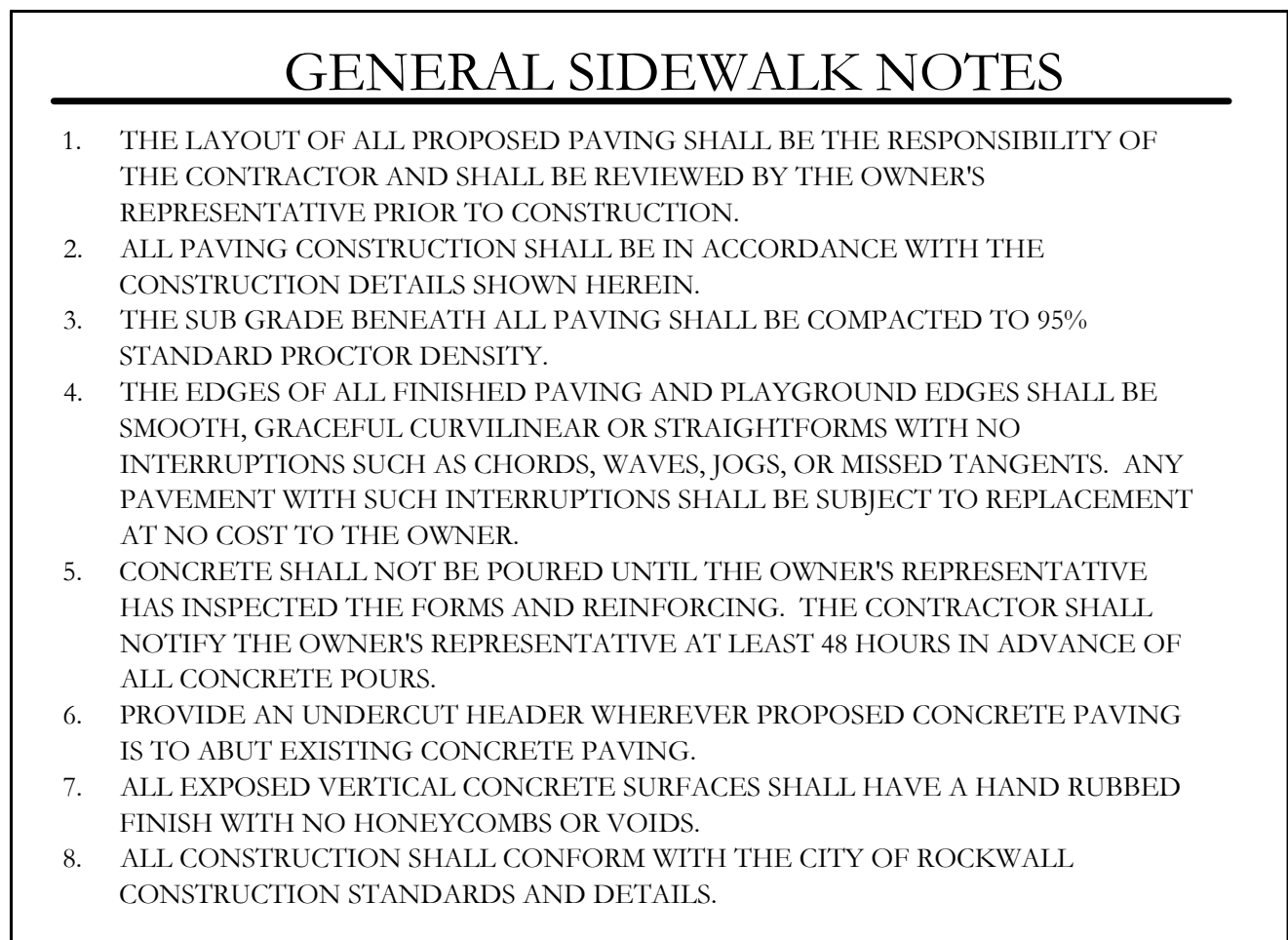
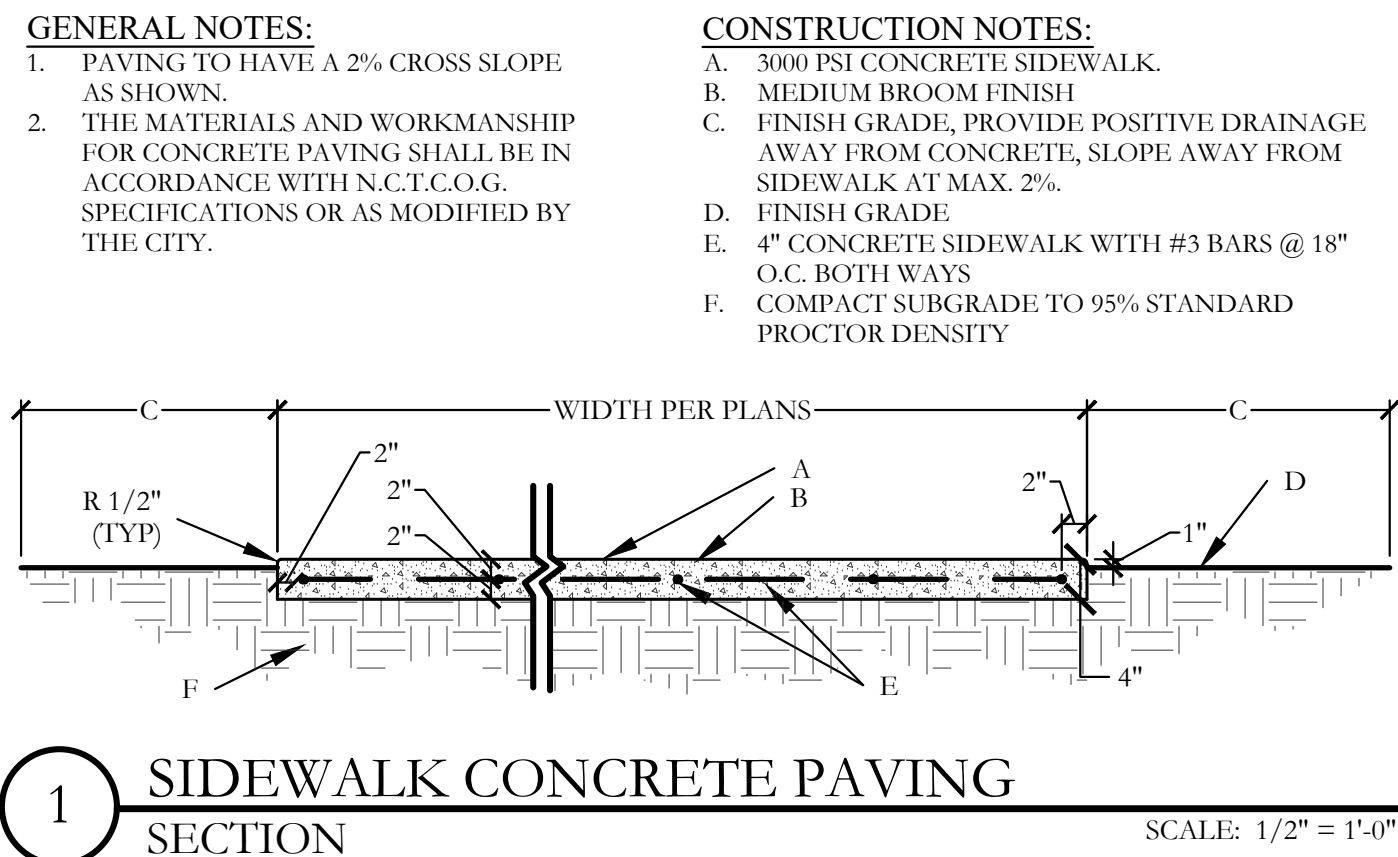
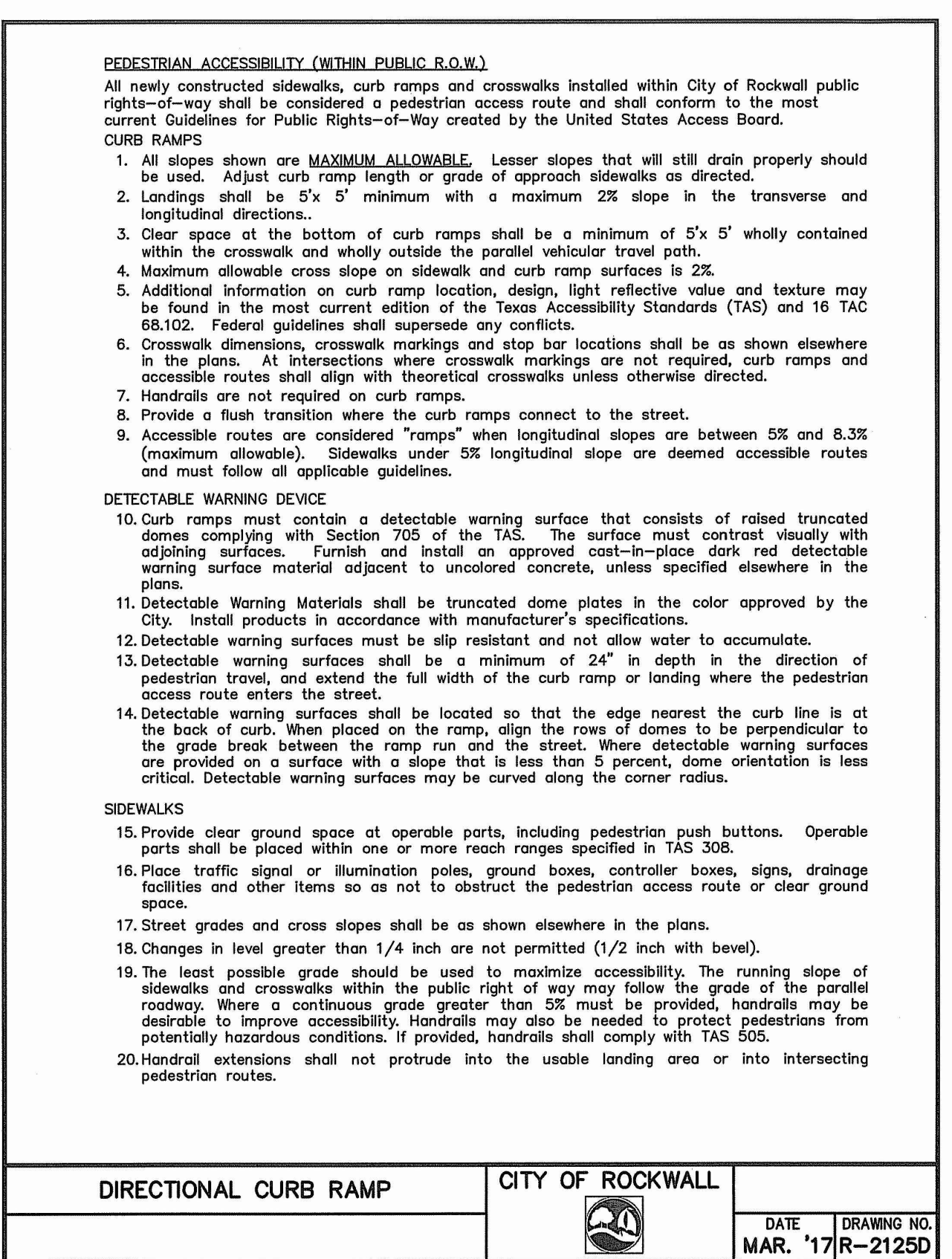
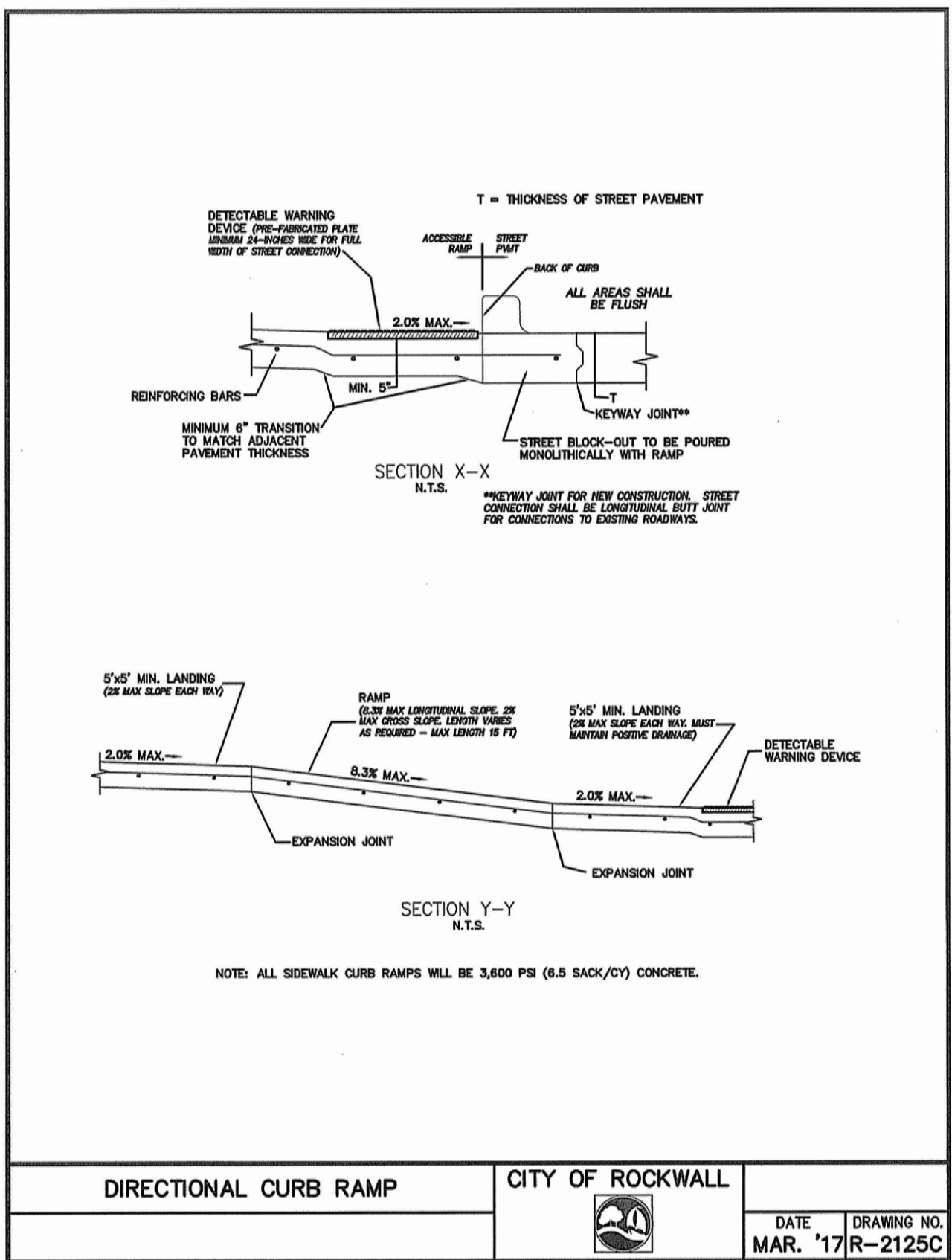
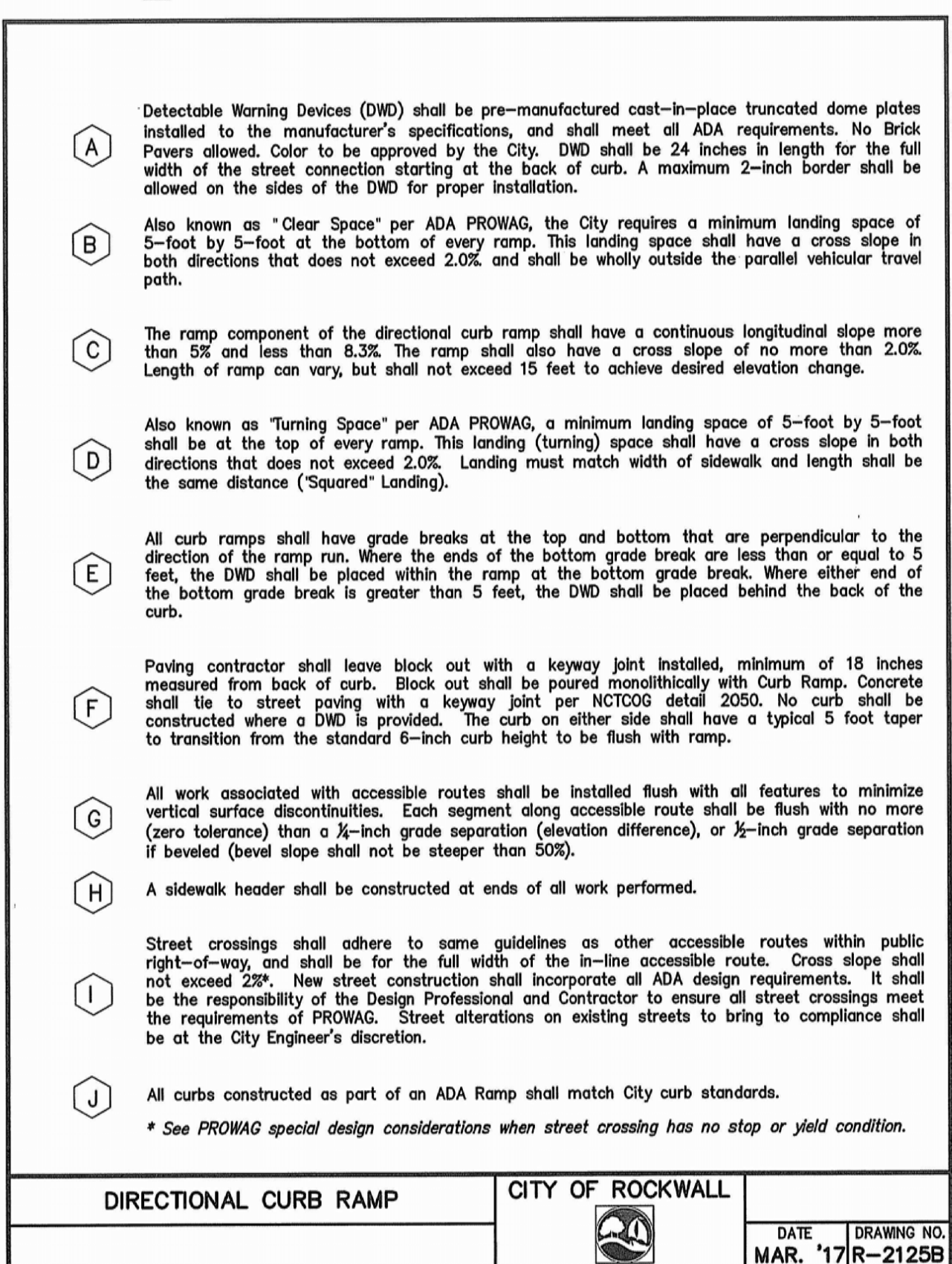
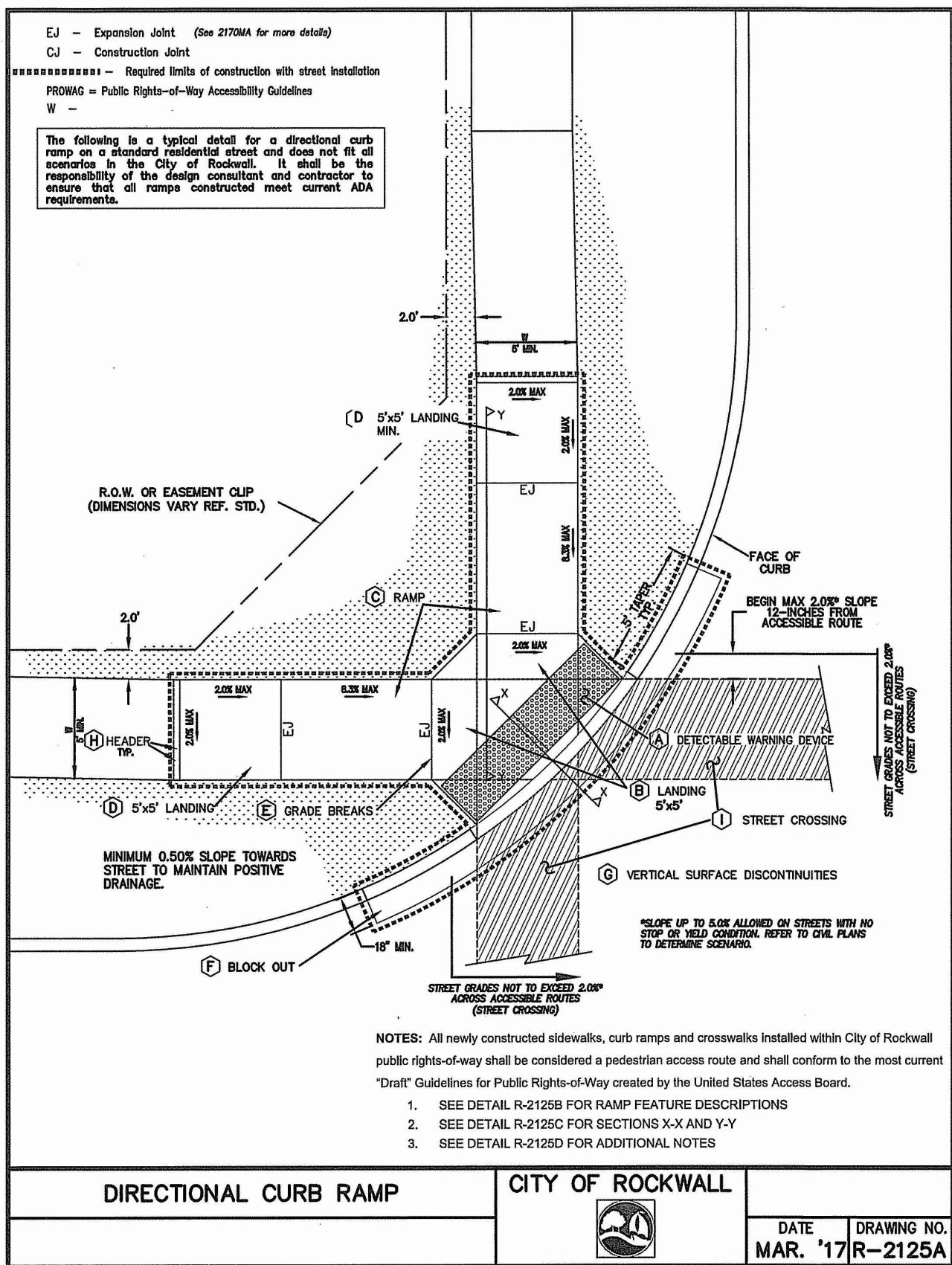
Terracina - Tract 1

City of Rockwall, Rockwall County, Texas

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CJS PROJECT NO.
DPI006

SHEET NO.
L11 of 18



GENERAL NOTES - HARDSCAPE CONSTRUCTION

CAST-IN-PLACE CONCRETE

- ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE I AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
- ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
- CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
- CHLORIDES SHALL NOT BE USED.
- MAXIMUM AGGREGATE SIZE = 1".

CONCRETE REINFORCING STEEL

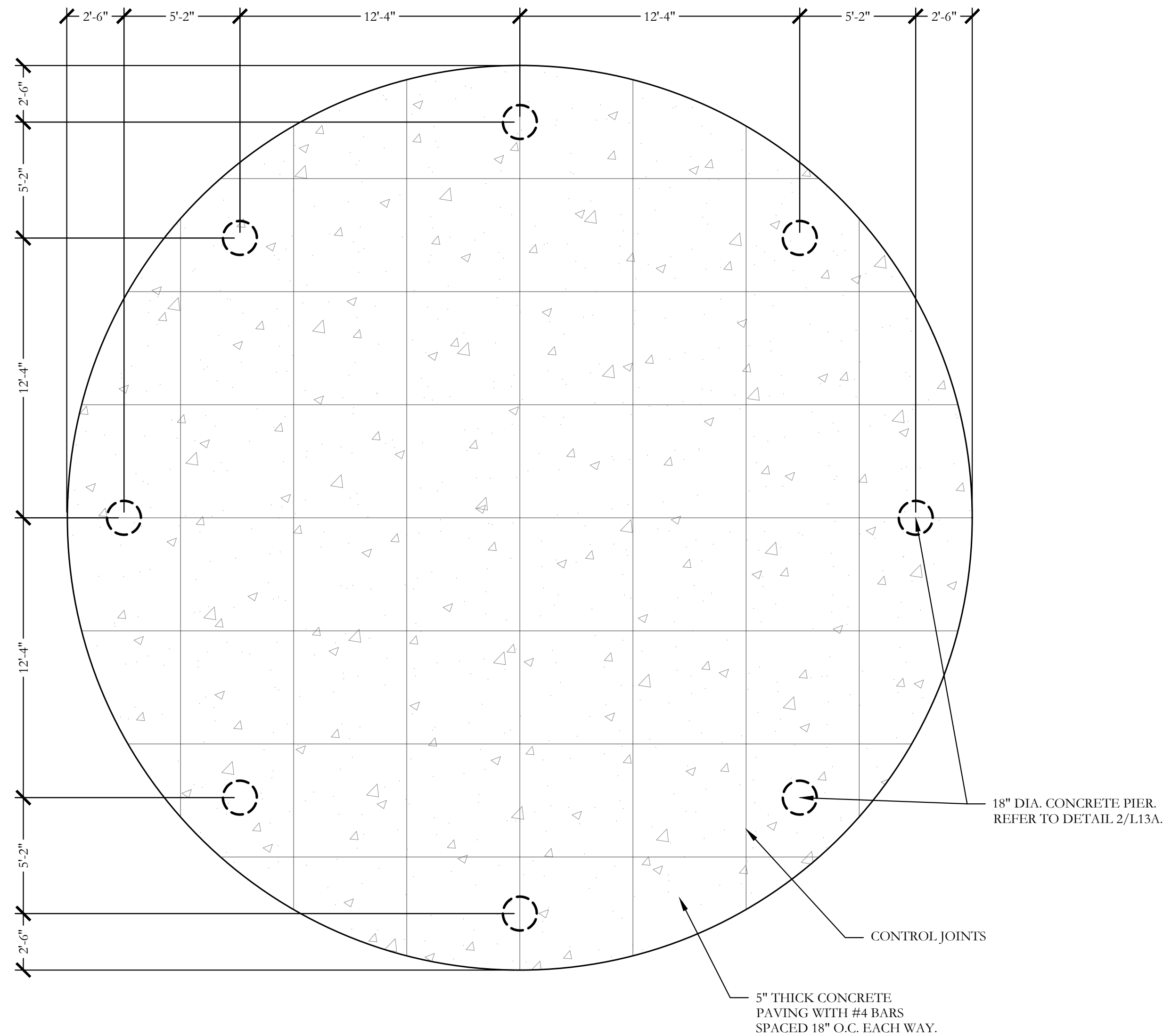
- ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
- PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
 - CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - (A) BARS LARGER THAN NO. 5: 2 INCHES
 - (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - SLABS, WALLS AND JOISTS
 - (A) BARS LARGER THAN NO. 11: 1-1/2 INCHES
 - (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
 - BEAMS AND COLUMNS: 1-1/2 INCHES
 - SHELLS AND FOLDED PLATES
 - (A) BAR LARGER THAN NO. 5: 3/4 INCHES
 - (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
- ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.

DRILLED PIERS

- PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
- PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
- STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
- PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED
- PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.

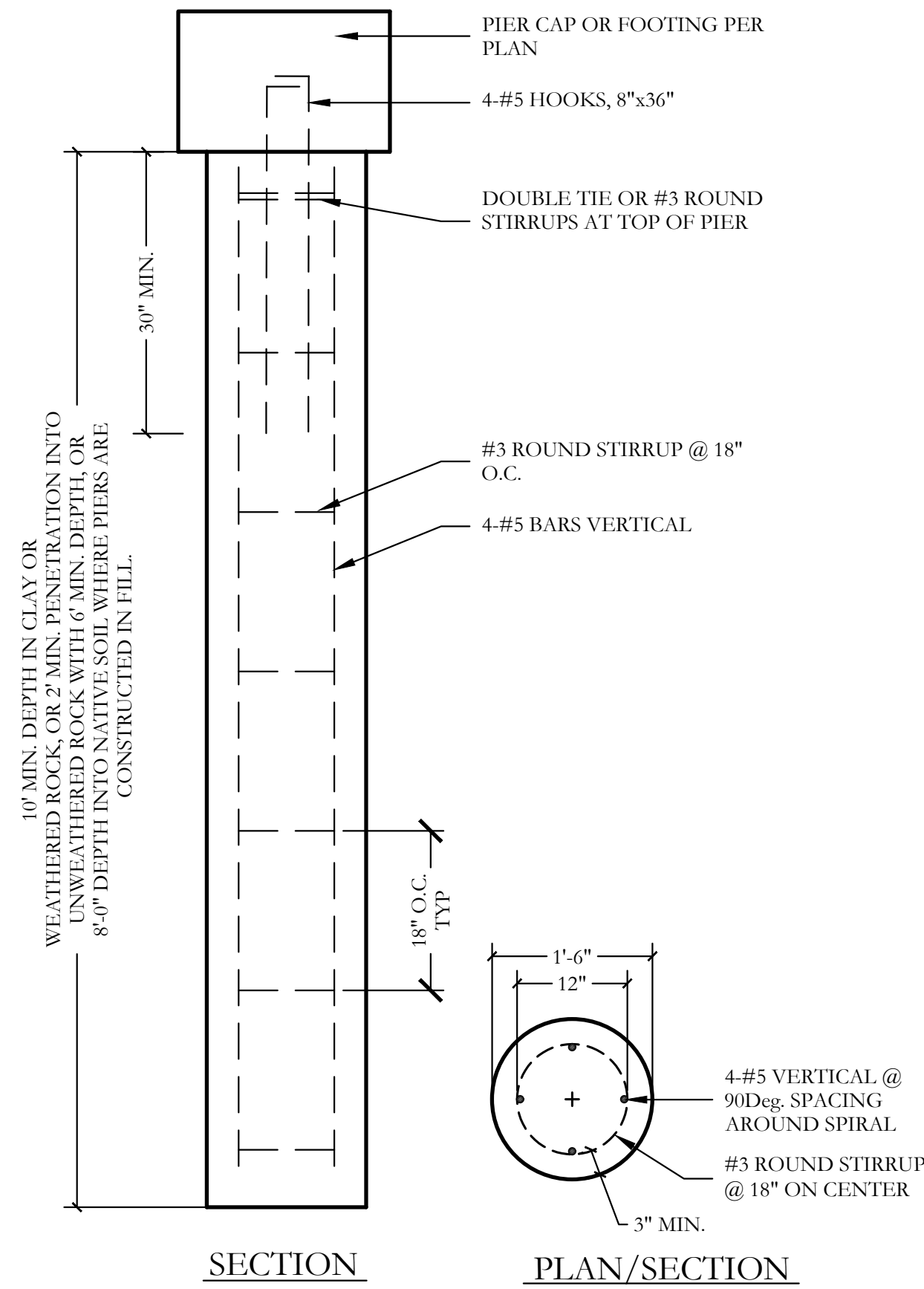
STRUCTURAL CONCRETE MASONRY UNIT

- CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
- CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
- MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
- COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 1/2" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
- REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
- HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
- JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
- LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
- LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
- PLACE GROUT USING LOW-LIFT METHOD, 6'-8" MAXIMUM LIFTS.



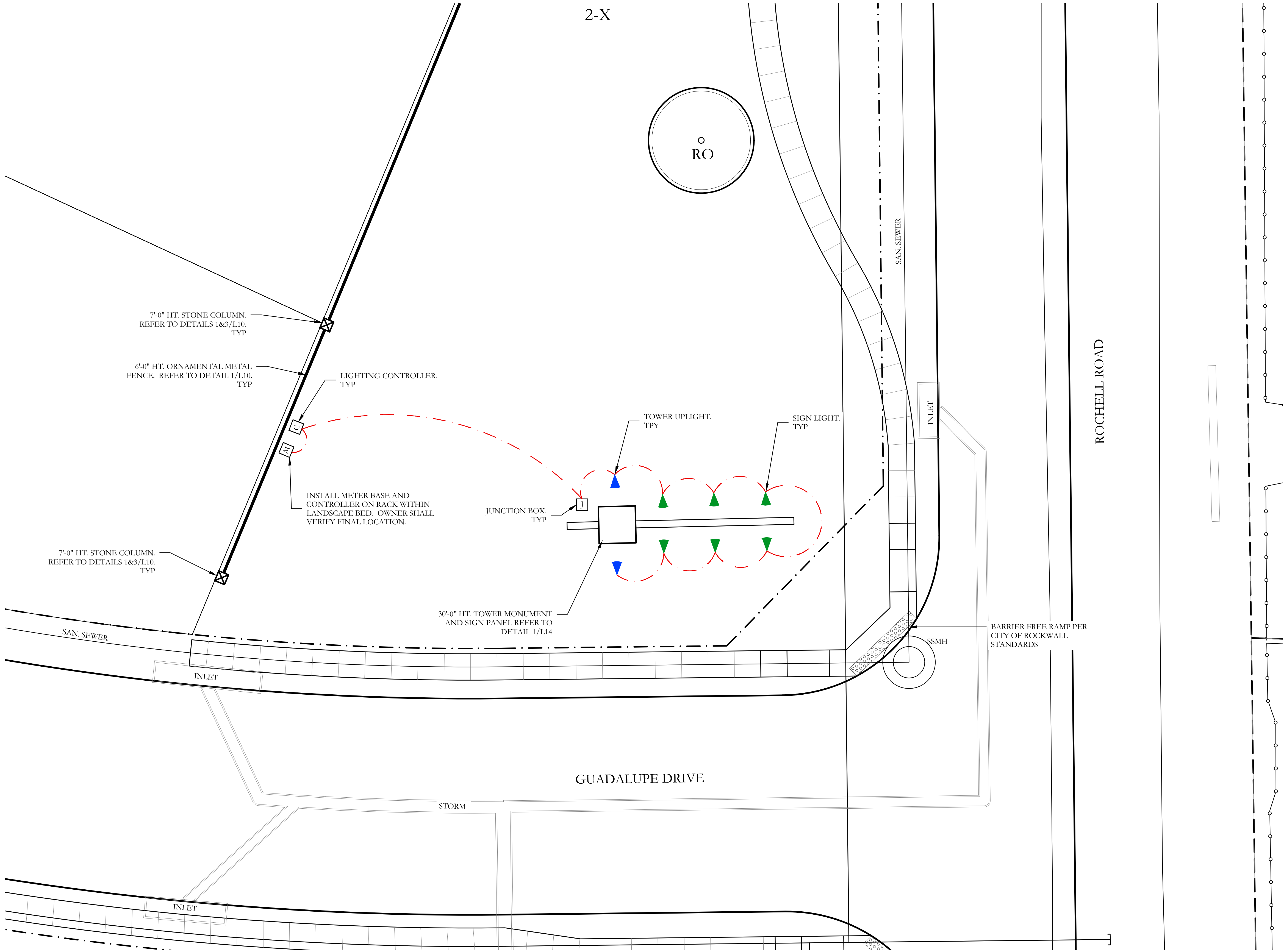
1 SHELTER FOUNDATION PLAN
PLAN

SCALE: 1/4"=1'-0"



2 PIER (18" DIA.)
PLAN/SECTION

SCALE: 3/4" = 1'-0"



LIGHTING LEGEND		
SYMBOL	ITEM	QTY
[M]	PROPOSED METER BASE	1
[C]	LIGHTING CONTROLLER AS SELECTED BY OWNER	1
[J]	JUNCTION BOX, AS NECESSARY	
▼	SIGN LIGHT	6
▼	TOWER UPLIGHT	2

- LIGHTING NOTES**
- COORDINATE ALL ELECTRIC UTILITY REQUIREMENTS WITH THE SERVICE PROVIDER IN THE AREA. COORDINATE EXACT TRANSFORMER LOCATION TO MAINTAIN REQUIRED CLEARANCES FROM BUILDING, EQUIPMENT, ETC. PRIOR TO INSTALLATION. FOUR TRANSFORMER PAD PER UTILITY COMPANY REQUIREMENTS.
 - COORDINATE ALL TELEPHONE SERVICE REQUIREMENTS WITH LOCAL TELEPHONE UTILITY COMPANY AND PROVIDE ACCORDINGLY.
 - LIGHTING TYPE AND SIZE SHALL BE SELECTED BY THE OWNER.
 - LIGHTING AND ELECTRICAL CONNECTIONS SHALL COMPLY WITH TEXAS DEPARTMENT STATE HEALTH SERVICES AND MANUFACTURER RECOMMENDATIONS.
 - COORDINATE ALL SLEEVE LOCATIONS WITH OTHER TRADES. INSTALL ADDITIONAL SLEEVES AS NECESSARY.
 - THE ELECTRICAL CONTRACTOR SHALL REFER AND ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS, CUT SHEETS, SHOP DRAWINGS, NOTES, AND INSTALLATION PROCEDURES FOR ALL PRODUCTS SHOWN ON PLANS.
 - THE CONTRACTOR SHALL DETERMINE WIRE SIZES AND RUN PATTERNS IN THE FIELD.
 - REFER TO IRRIGATION PLANS AND COORDINATE WITH IRRIGATION CONTRACTOR FOR ALL SLEEVE LOCATIONS.
 - THE LIGHTING EXHIBIT SHOWN HEREIN IS FOR GRAPHIC REFERENCE ONLY TO BE USED FOR BIDDING PURPOSES. FINAL DESIGN AND INSTALLATION SHALL BE PROVIDED BY A LICENSED ELECTRICIAN.

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REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2853
STATE OF TEXAS

September 2, 2020

NORTH

10 5 0 10
Scale: 1" = 10'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
One Inch

SCREENING AND BUFFERING

Entry Lighting Exhibit

Terracina - Tract 1

City of Rockwall, Rockwall County, Texas

▲

CJS PROJECT NO.

DPI006

SHEET NO.

L18 of 18

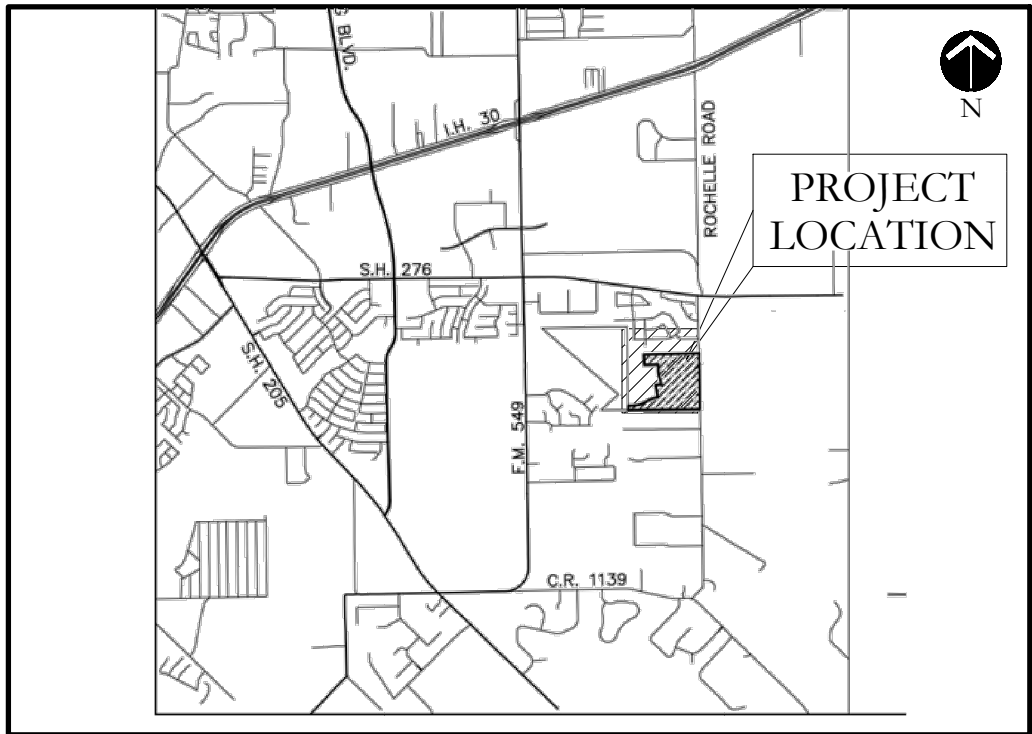
GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUITABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST AND MAINTAIN EROSION CONTROL.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES INCLUDING EROSION CONTROL ON ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

CONSTRUCTION PLANS
FOR
SCREENING AND BUFFERING

~TERRACINA - TRACT 1~
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE September 2, 2020



LOCATION MAP
NOT TO SCALE

SHEET INDEX	
L1	OVERALL LAYOUT PLAN
L2-L9	LANDSCAPE PLANS
L10-L18	LANDSCAPE DETAILS
IR1-IR8	IRRIGATIONS PLANS
IR10-IR11	IRRIGATIONS DETAILS

GENERAL LANDSCAPE NOTES:

- INSPECTIONS:
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRDACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

DEVELOPER:

DOUGLAS PROPERTIES, INC.
2309 AVE K, SUITE 100
PLANO, TX 75074
PH. (972) 422-1658
CONTACT: JR DOUGLAS

OWNER :

BLOOMFIELD HOMES, LP.
1050 E. STATE HWY 114
SUITE 210
SOUTHLAKE, TX 76092
INST. NO. 2014-0000016643

CIVIL ENGINEER:

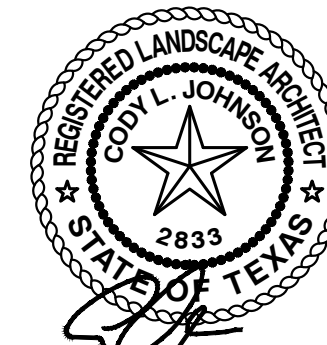
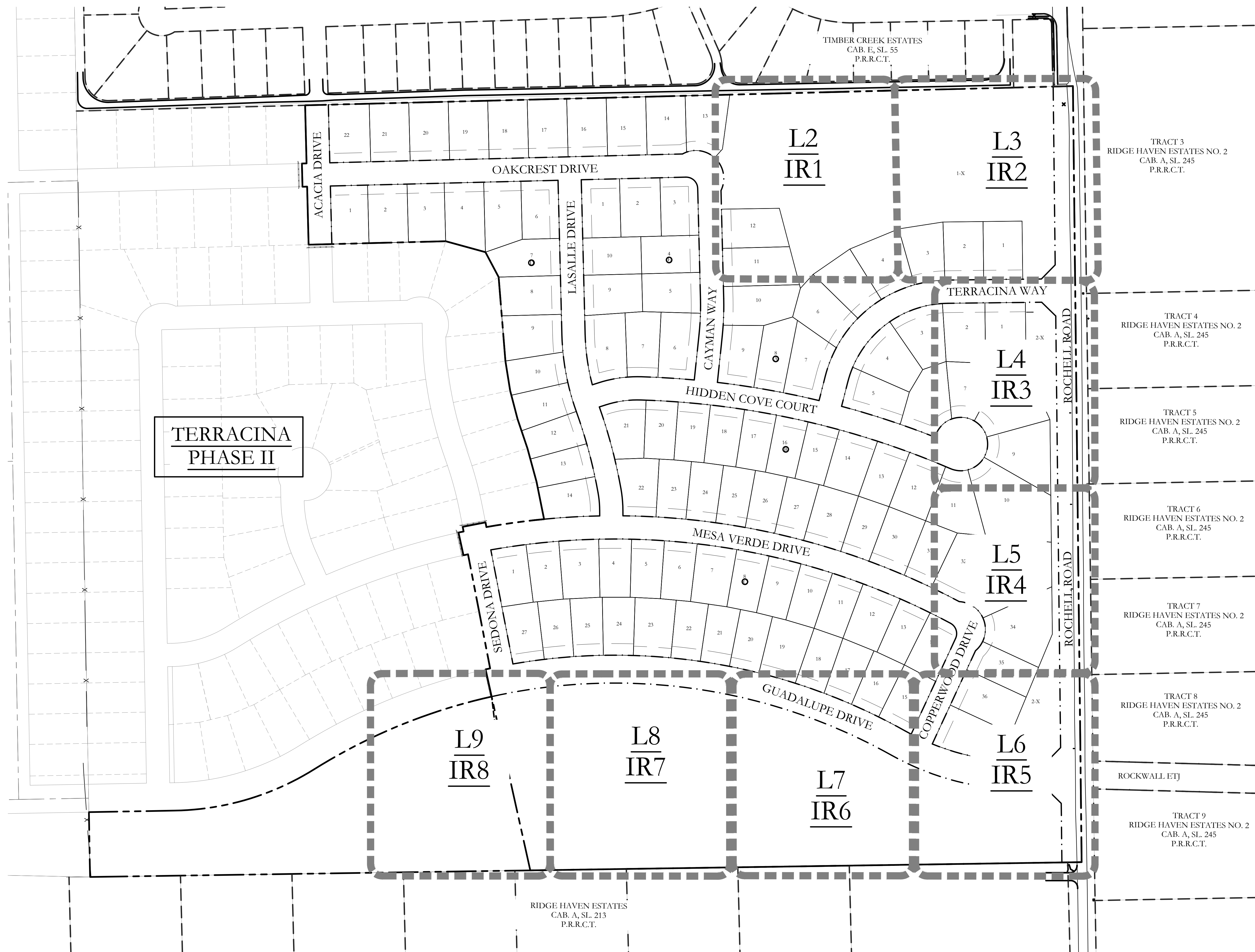
ENGINEERING CONCEPTS &
DESIGNS, L.P.
201 WINDCO CIRCLE
SUITE 200
WYLIE, TEXAS 75098
PH. (972) 941-8400

LANDSCAPE ARCHITECT:

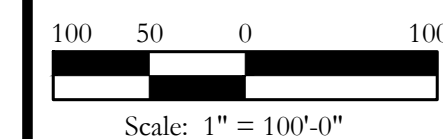
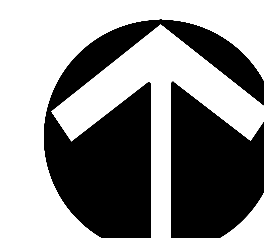
CODY JOHNSON STUDIO, LLC
9720 COIT ROAD SUITE 220-333
PLANO, TEXAS 75025
PH. (903) 570-0162
CONTACT: CODY JOHNSON, RLA, ASLA, LI



CODY JOHNSON
s . t . u . d . i . o



September 2, 2020



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One Inch

SCREENING AND BUFFERING

Overall Landscape Plan

Terracina - Tract 1

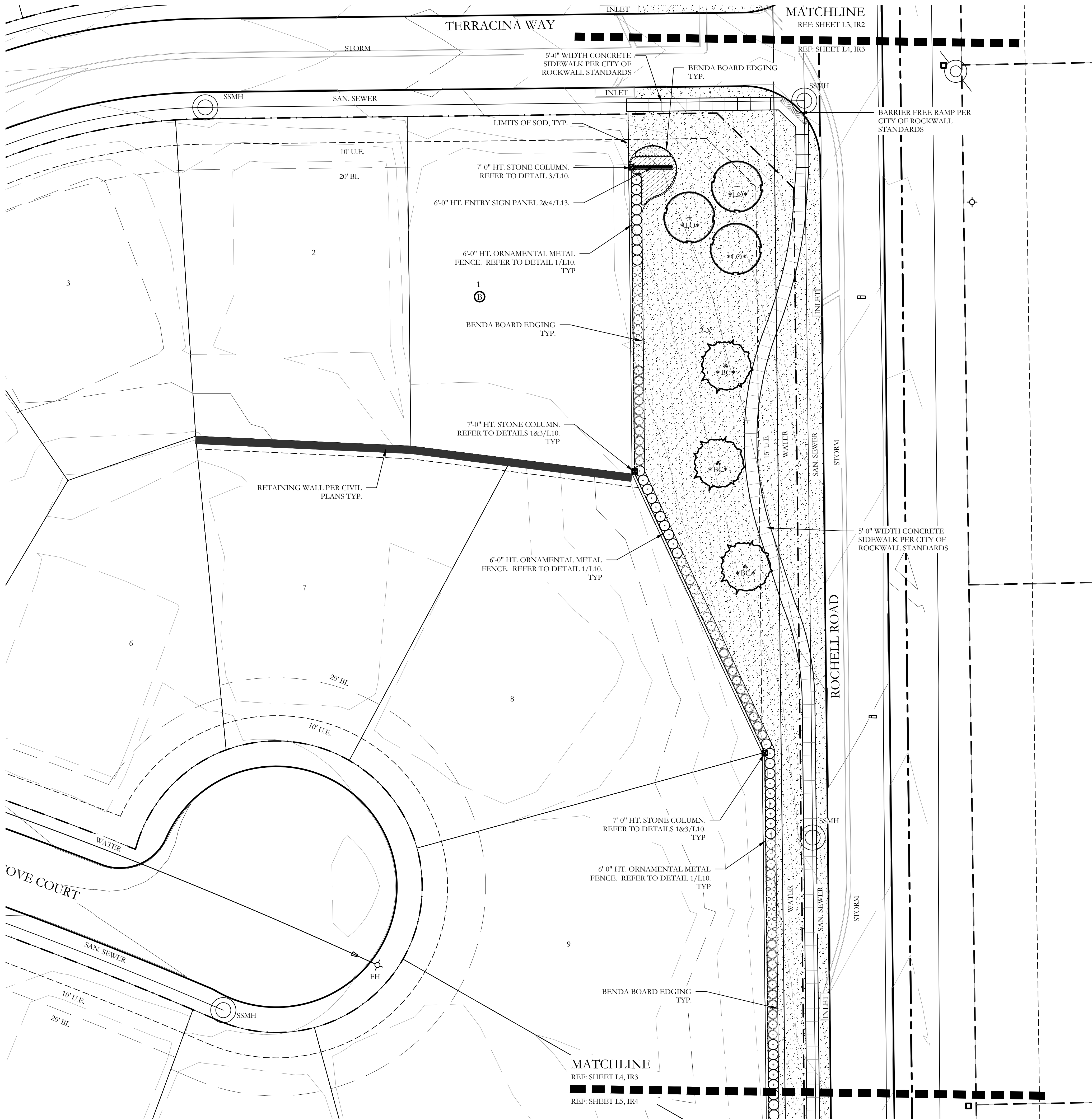
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.

DPI006

SHEET NO.

L1 of 18



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
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		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C. 18" O.C.
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		OKLAHOMA MOSS ROCK BOULDERS	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.		

CODY JOHNSON
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EMAIL: CODY@CODYJOHNSONSTUDIO.COM

REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2853
STATE OF TEXAS

September 2, 2020

NORTH

20 10 0 20
Scale: 1" = 20'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING

Landscape Plan

Terracina - Tract 1

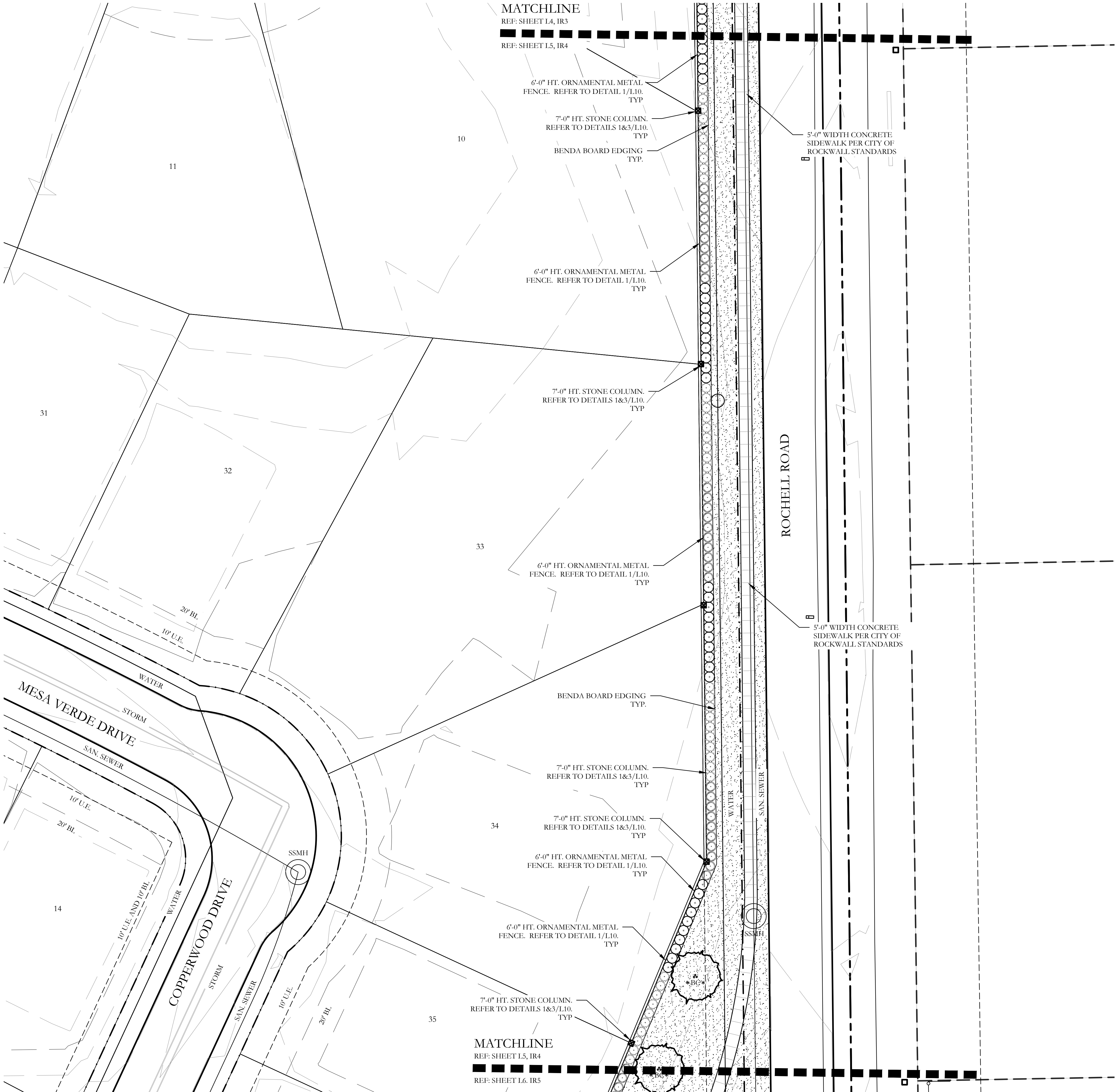
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.

DPI006

SHEET NO.

L4 of 18



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
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REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2853
STATE OF TEXAS

September 2, 2020

NORTH

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SCREENING AND BUFFERING

Landscape Plan

Terracina - Tract 1

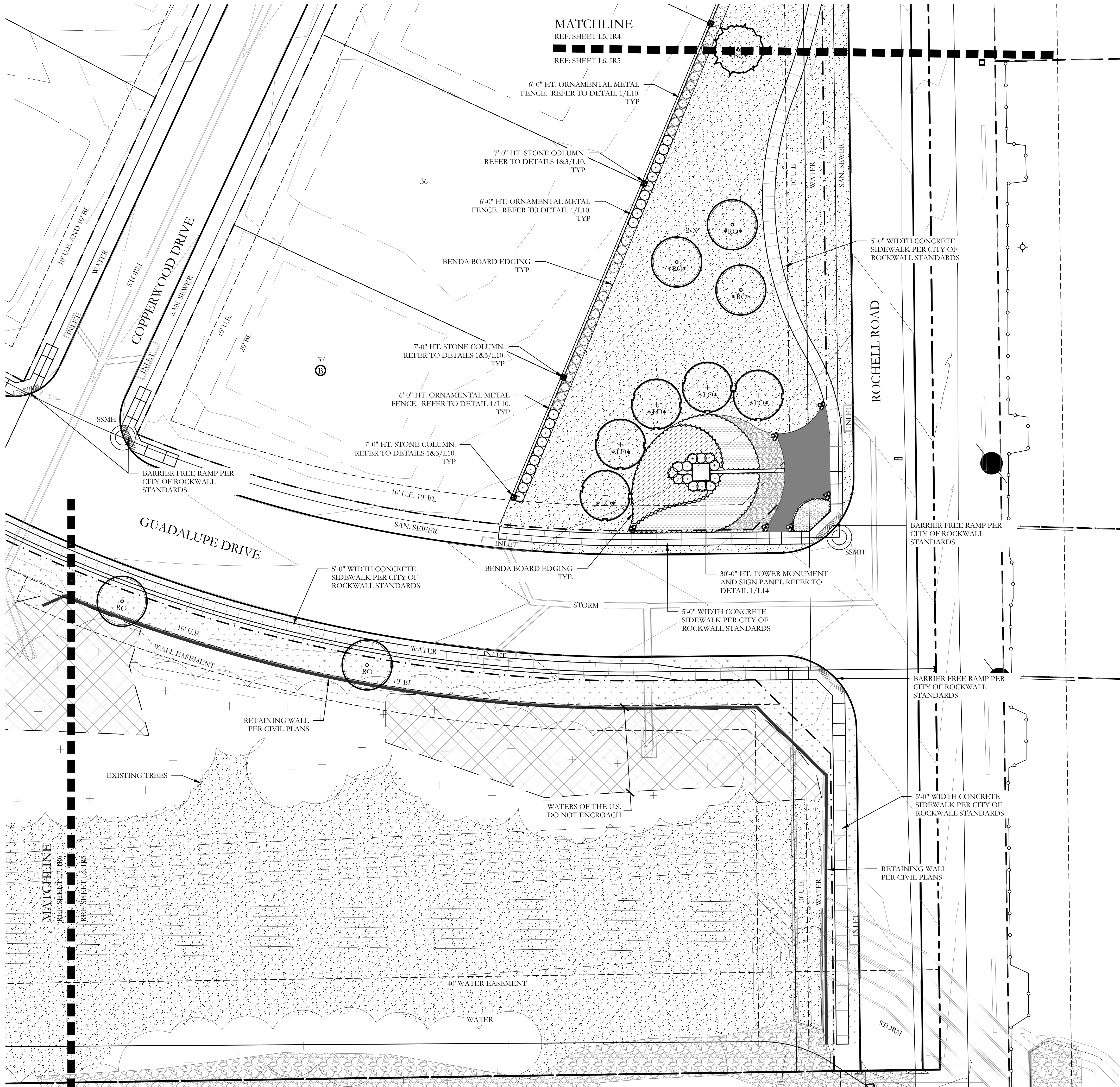
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.

DPI006

SHEET NO.

L5 of 18



PLANT LEGEND					
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CODY JOHNSON
s.t.u.d.i.o

NORTH

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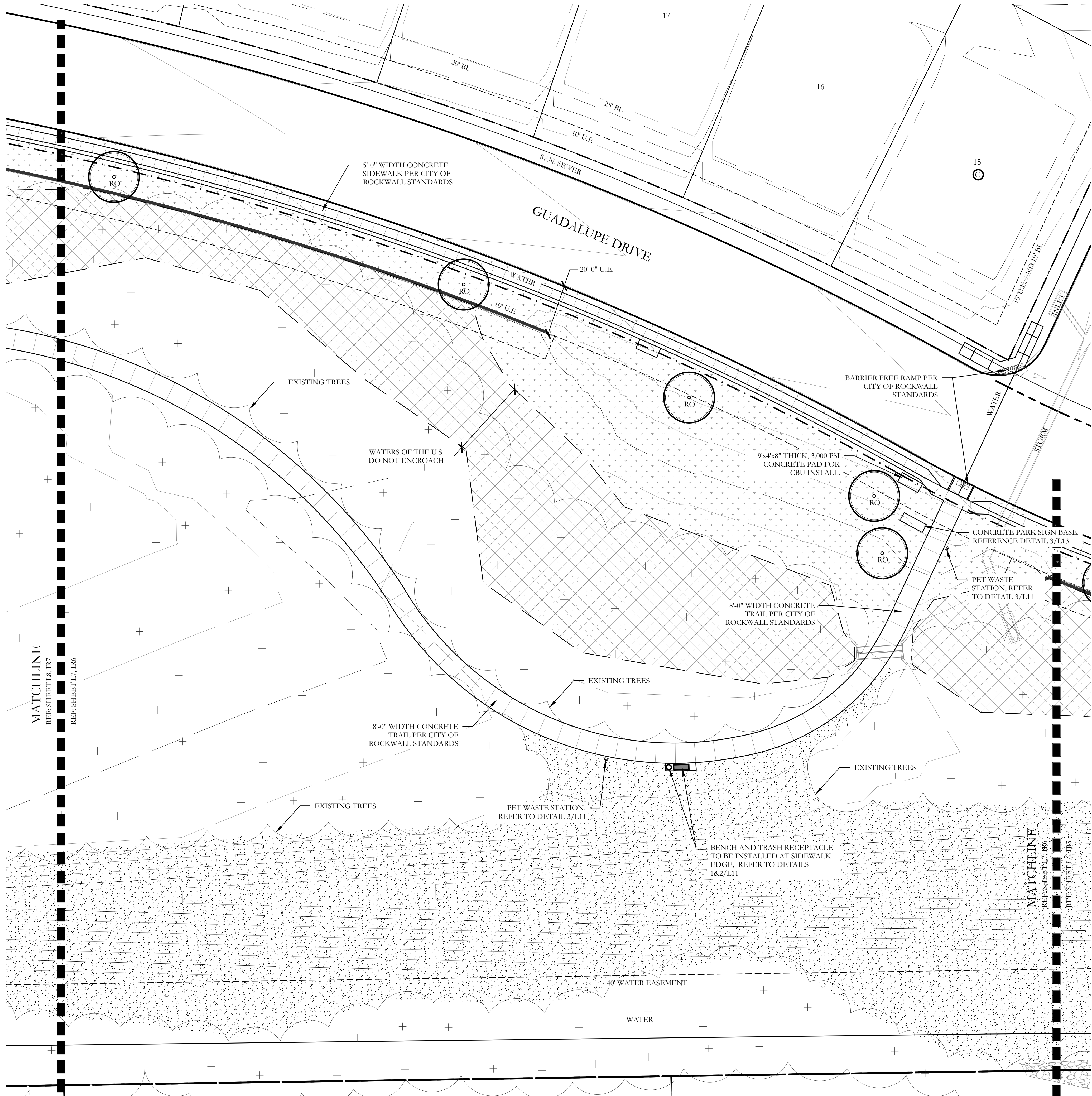
Landscape Plan

Terracina - Tract 1

City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.
DPI006

SHEET NO.
L6 of 18



PLANT LEGEND					
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REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2893
STATE OF TEXAS

September 2, 2020

NORTH

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SCREENING AND BUFFERING

Landscape Plan

Terracina - Tract 1

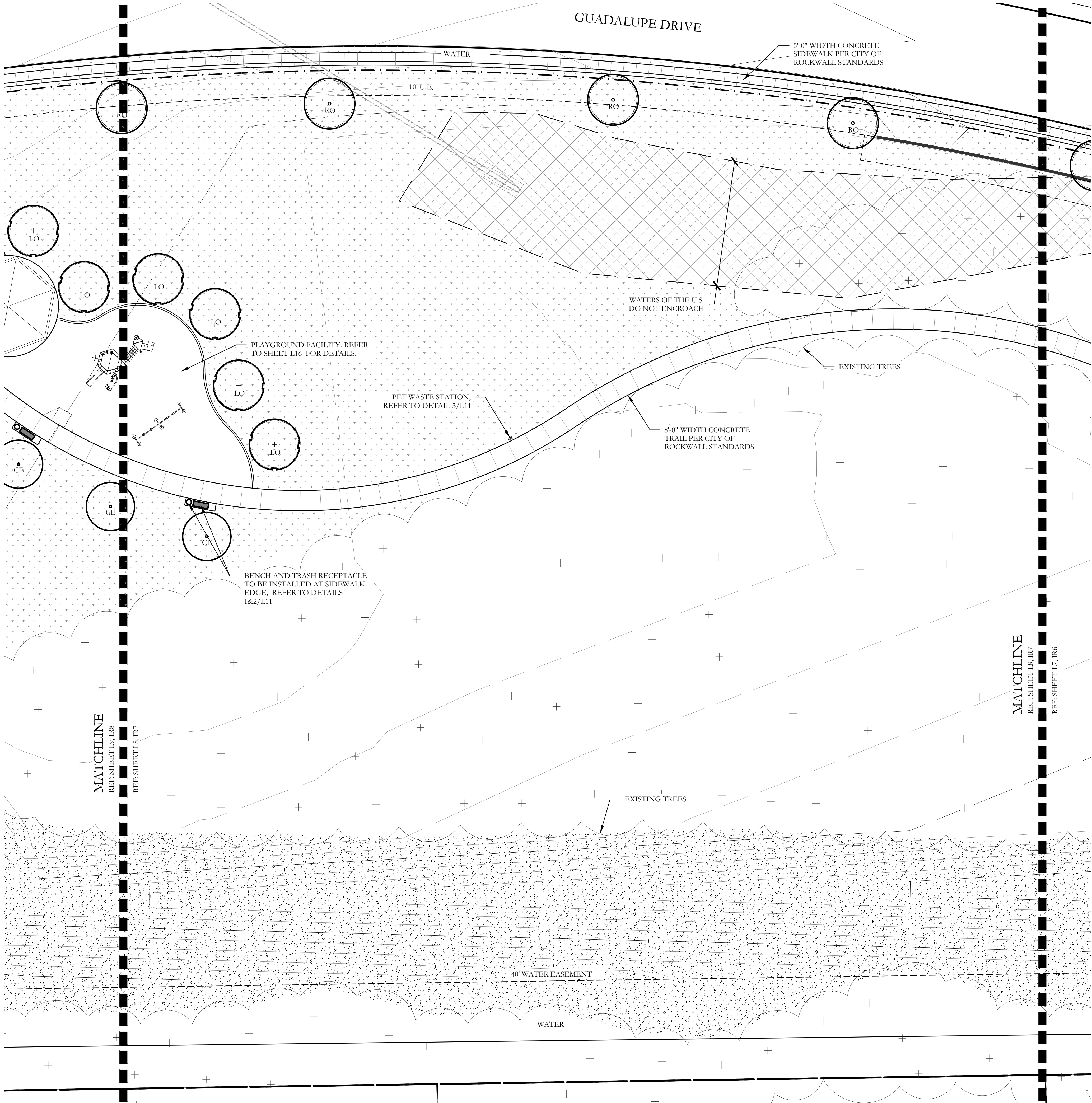
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.

DPI006

SHEET NO.

L7 of 18



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	RO	RED OAK	QUERCUS RUBRA	3" CALIPER	AS SHOWN
	RO	RED OAK	QUERCUS RUBRA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN
	ERC	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	7 GALLON	48" O.C.
		ELAEOAGNUS	ELAEOAGNUS PUNGENS	7 GALLON	48" O.C.
		DWARF WAX MYRTLE	MYRTICA SPP.	7 GALLON	48" O.C.
		MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C. 18" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		TIF-TUF BERMUDA GRASS	CYNODON DACTYLON X C. TRANSVAALENSIS	SQUARE FEET	BIG ROLL
		BLACK STAR CRUSHED STONE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	100% COVERAGE
		TEXAS RIVER ROCK	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1-2" AND 2-4" IN SIZE.	SQUARE FEET	100% COVERAGE
		OKLAHOMA MOSS ROCK BOULDERS	50 L.B. TO 250 L.B. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.		

CODY JOHNSON
s.t.u.d.i.o

9720 COTT ROAD SUITE 220-333 PLANO, TEXAS 75025
PH: (972) 570-0162
EMAIL: CODY@CODYJOHNSONSTUDIO.COM

REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2853
STATE OF TEXAS

September 2, 2020

NORTH

20 10 0 20
Scale: 1" = 20'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING

Landscape Plan


Terracina - Tract 1

City of Rockwall, Rockwall County, Texas

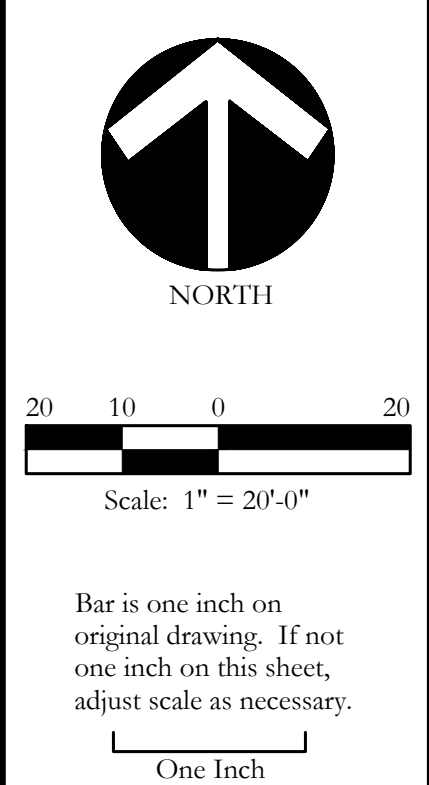
CJS PROJECT NO.
DPI006

SHEET NO.
L8 of 18



 **CODY JOHNSON**
s.t.u.d.i.o

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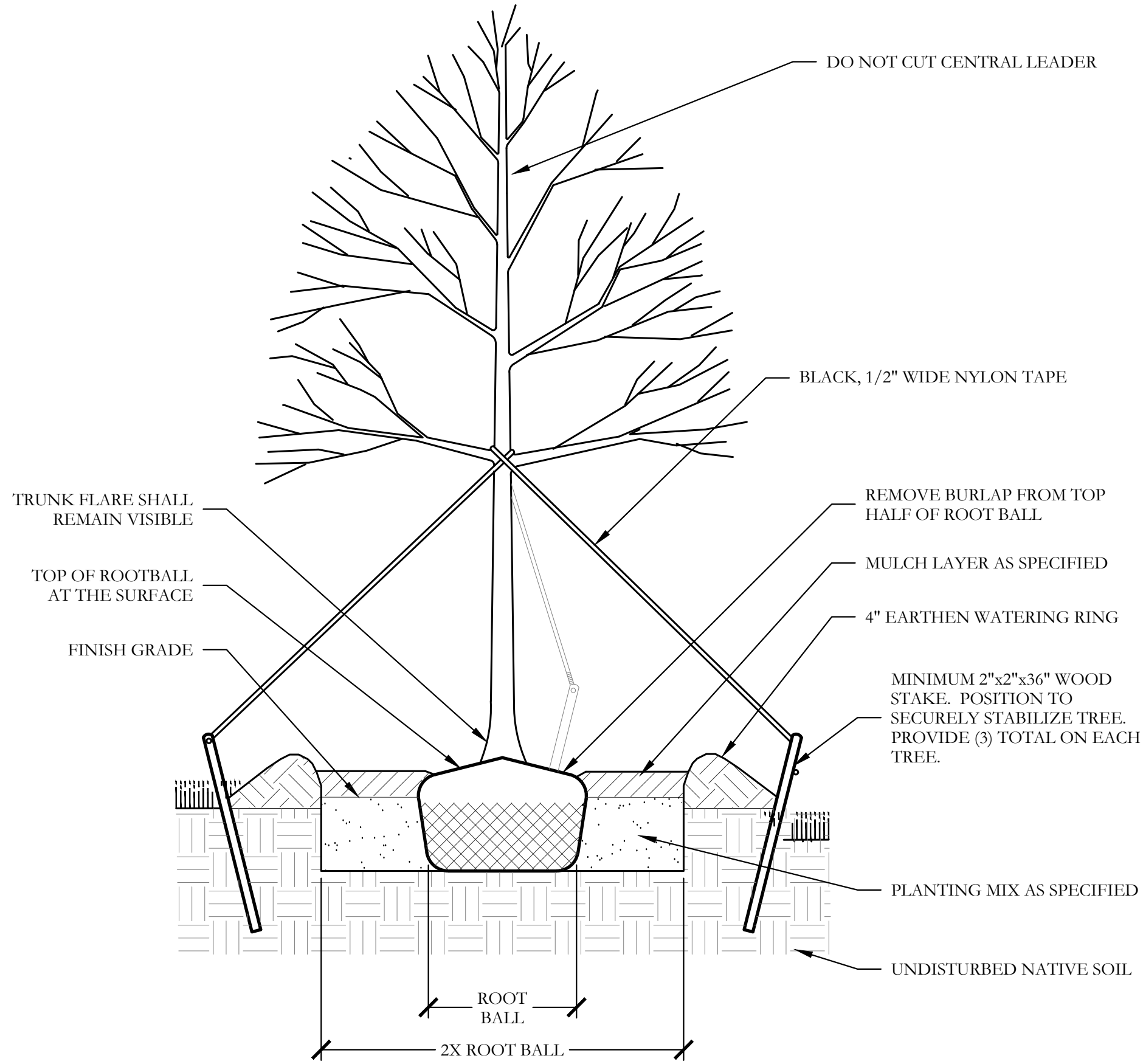
SCREENING AND BUFFERING

Landscape Plan

Terracina - Tract 1

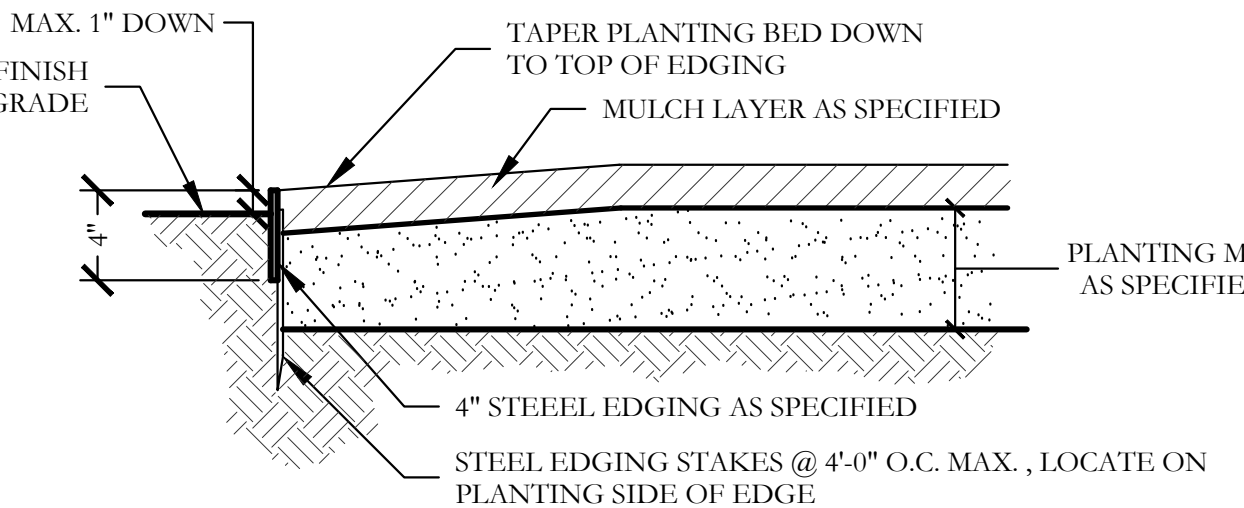
City of Rockwall, Rockwall County, Texas

	
CJS PROJECT NO. DPI006	
SHEET NO. L9 of <u>18</u>	



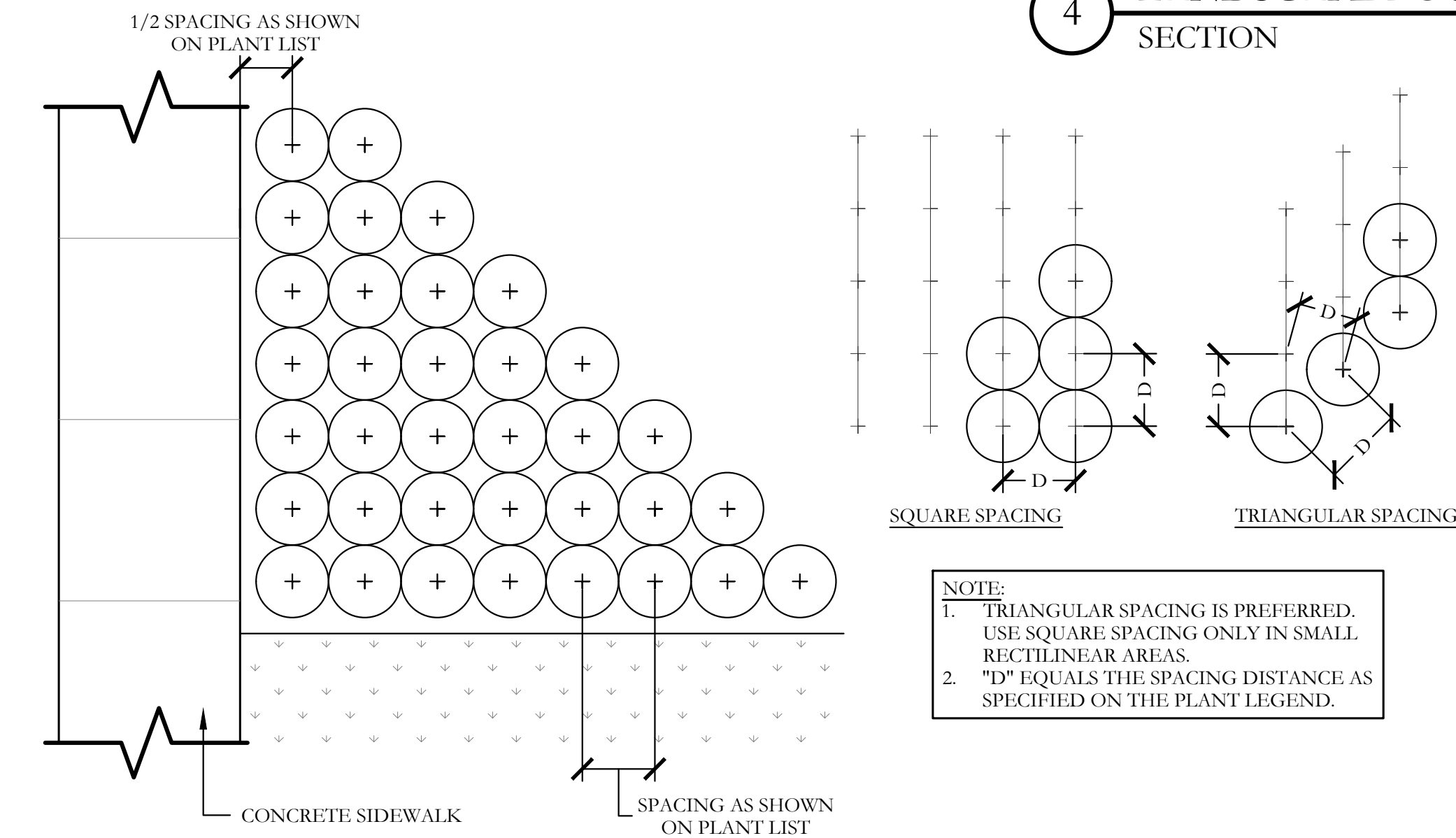
1 TYPICAL TREE PLANTING SECTION

NOT TO SCALE



2 TYPICAL BED EDGING DETAIL SECTION

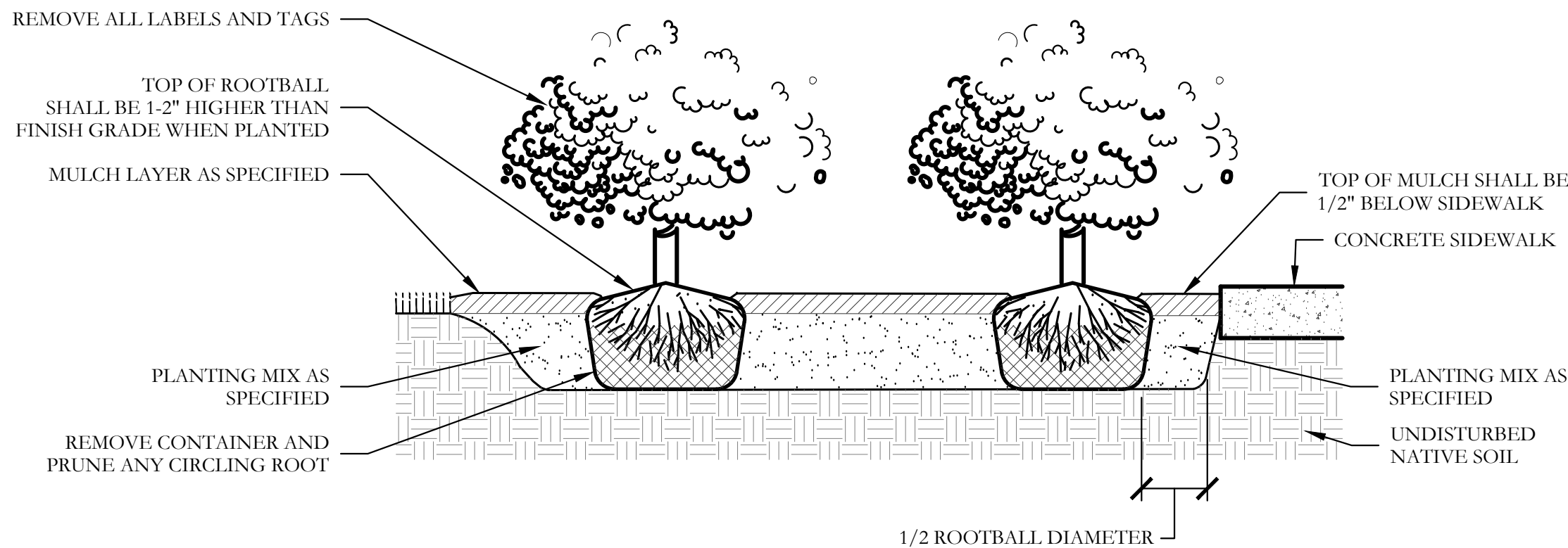
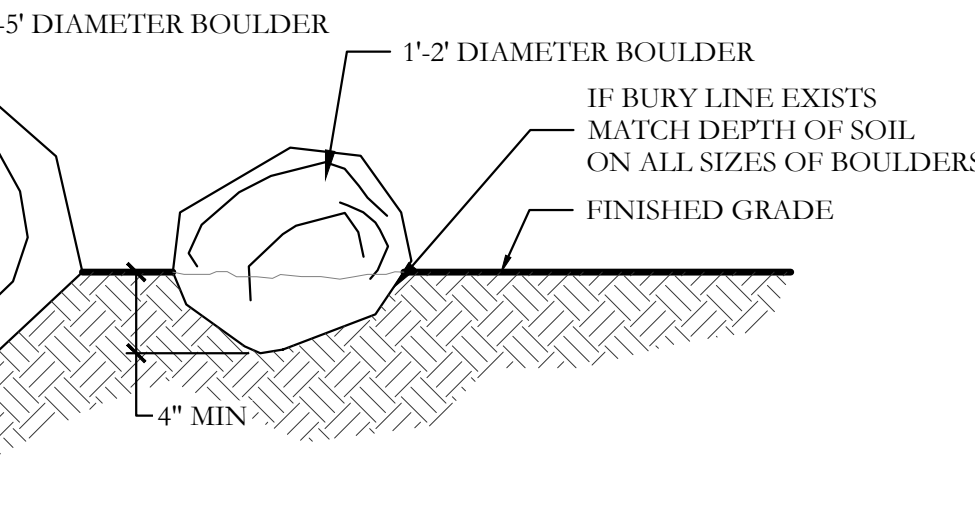
NOT TO SCALE



3 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION

4 LANDSCAPE BOULDER DETAIL SECTION

NOT TO SCALE



NOT TO SCALE

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	7	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
LO	11	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RO	12	RED OAK	QUERCUS RUBRA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RO	3	RED OAK	QUERCUS RUBRA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
CE	4	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
BC	2	BALD CYPRESS	TAXODIUM DISTICHUM	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
BC	9	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
ERC	23	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	111	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF-BURFORD'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	89	ELAEAGNUS	ELAEAGNUS PUNGENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	89	DWARF WAX MYRTLE	MYRICA SPP.	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	510	MEXICAN FEATHER GRASS	NASSELLA TENUISSIMA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	474	WEeping LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	450	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	362,281	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	76,922	TIF TUF BERMUDA GRASS	CYNODON DACTYLON X C. TRANSVAALENSIS	SQUARE FEET	BIG ROLL	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	615	BLACK STAR CRUSHED STONE	N/A	SQUARE FEET	100% COVERAGE	INSTALL AT 3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK
	500	TEXAS RIVER ROCK	N/A	SQUARE FEET	100% COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS, AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1"-2" AND 2"-4" IN SIZE.
	1	OKLAHOMA MOSS ROCK BOULDERS	N/A	TON	AS SHOWN	50 LB. TO 250 LB. MAX SIZE; BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED. FIELD LOCATE ALL BOULDER MASSES ON SITE AND MARK FOR LANDSCAPE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH WORK.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

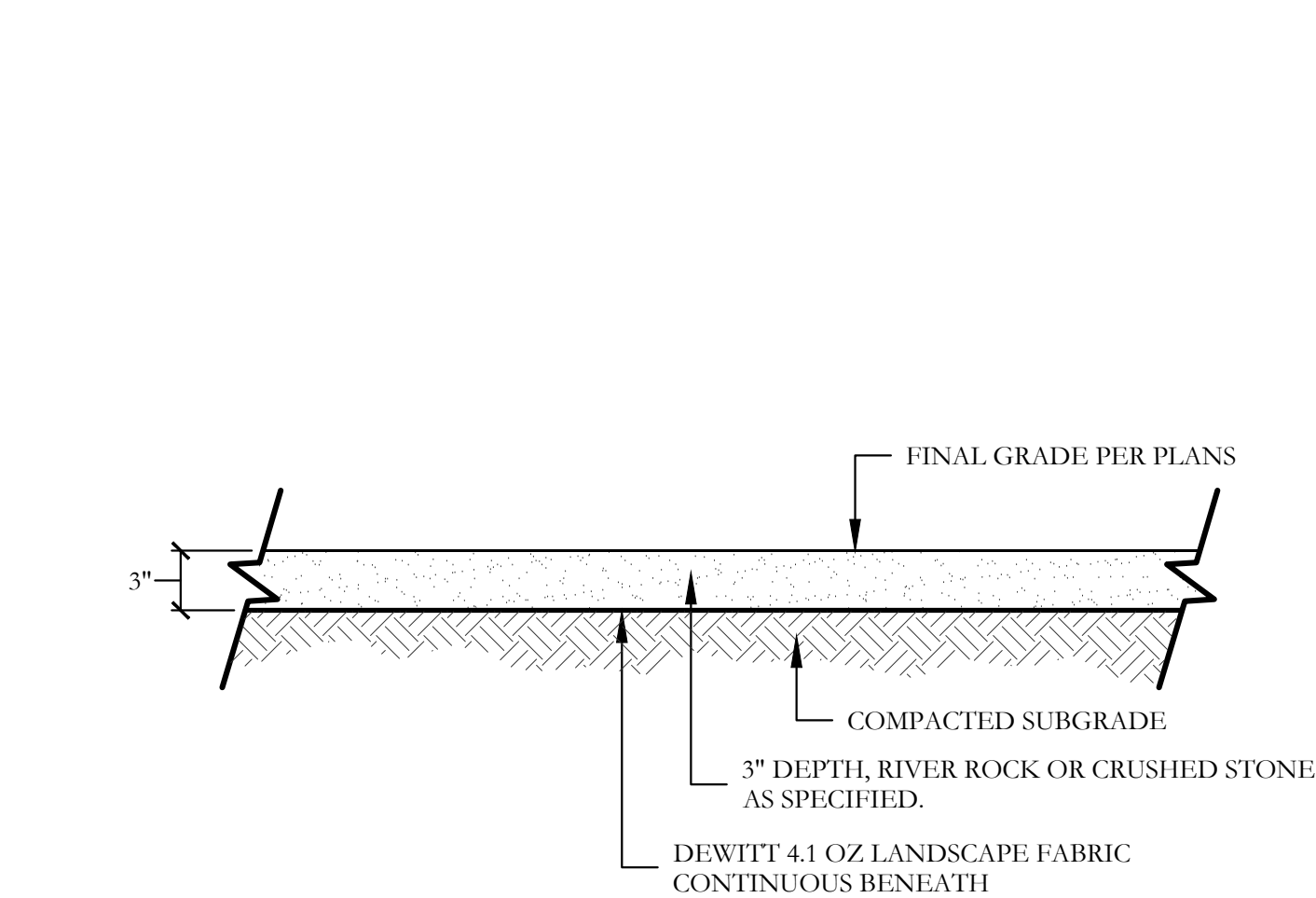
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCR OACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

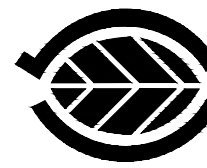
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEARED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



SCALE: 1" = 1'-0"

5 ROCK AND STONE BEDS SECTION

CODY JOHNSON
s . t . u . d . i . o



September 2, 2020

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING

Landscape Details

Terracina - Tract 1

City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.

DPI006

SHEET NO.

L17 of 18



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: September 15, 2020

APPLICANT: Kevin Lawson; *Lawson Real Estate Holdings, LLC*

CASE NUMBER: SP2020-022; *Site Plan for an Office Building at 1507 Airport Road*

SUMMARY

Discuss and consider a request by Kevin Lawson of Lawson Real Estate Holdings, LLC for the approval of a Site Plan for an *office building* on a 0.47-acre parcel of land identified as Lot 5, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1507 Airport Road.

BACKGROUND

The subject property was annexed in 1986 [*Ordinance No. 86-30*] is zoned Commercial (C) District, and is located north of the intersection of Industrial Boulevard and Airport Road. On July 7, 2012, The City Council approved a change in zoning from an Agricultural (AG) District to a Commercial (C) District [*Ordinance No. 12-14*] for the subject property. On June 5, 2017 the City Council approved a final plat [*Case No. P2017-026*] for Lots 1-3, Block A, Landing Point Addition. On April 20, 2020, the City Council approved a replat of Lot 1, Block A, Landing Point Addition, which subdivided the property into two buildable lots (*i.e. Lots 4 & 5, Block A, Landing Point Addition*) and establishing the subject property as Lot 5, Block A, Landing Point Addition.

PURPOSE

The applicant is requesting approval of a site plan for a ~4,988 SF single-story office building on the 0.47-acre subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 1507 Airport Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant lot (*i.e. Lot 6, Block A, Landing Point Addition*) that has been recently site planned [*i.e. SP2020-041*] for a medical office facility (*i.e. T-3 Chiropractic*). Beyond this is an indoor recreation/amusement business (*i.e. Adventure Sports*). These properties are zoned Commercial (C) District. Beyond this are several large vacant tracts of land that are zoned Agricultural (AG) District and Planned Development District 71 (PD-71) for Commercial (C) District land uses.

South: Directly south of the subject property is Airport Road, which is identified as a *M4U (major collector, four [4] lane, undivided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the *Leon Tuttle Athletic Complex* followed by the Union Pacific/Dallas Garland N. E. Railway. Beyond this there is a light industrial facility (*i.e. Graham Packaging Pet Technologies*). These areas are zoned Light Industrial (LI) District.

East: Directly east of the subject property is a medical office facility (*i.e. Lakes Regional Mental Health*), a house of worship (*i.e. Cornerstone Church*), and a vacant tract of land (*i.e. Tract 4-06, N. Butler Survey, Abstract No. A0020*). These areas are zoned Commercial (C) District. Following this is John King Boulevard, which is identified as a *P6D (principle arterial, six [6]-lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property are several vacant tracts of land followed by Airport Road, which is identified as a *M4U (major collector, four [4]-lane, undivided roadway)* on the City's Master Thoroughfare Plan OURHometown Vision 2040 Comprehensive Plan. Beyond this there are several vacant tracts of land, a light industrial facility (*i.e. Columbia Extrusion*), and a mixed-use subdivision (*i.e. Park Station*). These areas are zoned Light Industrial (LI) District and Planned Development District 87 (PD-87) for townhome, commercial, and light industrial land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *office facility* is permitted by-right in a Commercial (C) District and no additional discretionary approvals are necessary with regard to land use. The proposed single-story office building will be ~4,988 SF, and will be clad with a combination of brick, natural stone, cast stone, and cementitious lap siding (*i.e. Hardi-Board or similar*). The building will utilize a pitched roof system (*i.e. standing seam metal roof*). The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>20,748 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>102-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>202-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>>15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>>10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>>10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>25-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>26%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>17 Spaces</i>	<i>21 Spaces; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>42%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>58%; In Conformance</i>

TREESCAPE PLAN

This request does not require a treescape plan since there are no protected trees being removed.

CONFORMANCE WITH THE CITY'S CODES

The applicant's request adheres to all applicable requirements stipulated by the Unified Development Code (UDC) and other City codes.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Map that was adopted with the OURHometown Vision 2040 Comprehensive Plan depicts the subject property being located within the *Central District*. This district contains a wide range of land uses that vary from single-family residential to industrial land uses. The residential areas within the district are largely rural and estate developments. Although there are some residential and commercial/retail developments within the district, the *Technology/Employment Center (TEC)* land use occupies the largest acreage (*i.e. 390.78-acres*). This can likely be attributed to the Union Pacific/Dallas Garland and Northeastern Rail Road that bisects the district and serves as a major mode of transportation for the facilities within the Rockwall Technology Park. The commercial/retail centers in this district are intended to support existing and proposed residential developments and should be compatible in scale with adjacent residential structures and incorporate appropriate screening (*e.g. berms, landscaping, and large buffers*) to transition uses. In this case, it appears that the proposed office building can be viewed as a supporting service for the residential developments located to the north and to the west of the subject property. The applicant is utilizing a *residential-scale* architectural style and the property is surrounded by commercial and industrial land uses. Due to these factors, the applicant's request appears to be in conformance with the district strategies of the *Central District* as outlined in the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

On August 25, 2020, the Architectural Review Board (ARB) reviewed the proposed building elevations and approved a motion to recommend approval of the applicant's request by a vote of 5-0, with Board Members Wacker and Mitchell absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request for a site plan for an office building, then staff would propose the following conditions of approval:

- (1) All comments provided by the Planning, Engineering, and Fire Department must be addressed prior to the submittal of a building permit; and,
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-022

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING: B. Li

CITY ENGINEER: [Signature]

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address **1505 Airport Rd, Rockwall, TX 750**

Subdivision **Landing Point Addition**

Lot **5**

Block **A**

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **Commercial**

Current Use **C**

Proposed Zoning **Commercial**

Proposed Use **C**

Acreage **0.47**

Lots [Current]

Lots [Proposed]

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner **Lawson Real Estate Holdings LLC**

☐ Applicant

Contact Person **Kevin Lawson**

Contact Person

Address **4509 Rowlett Rd.**

Address

City, State & Zip **Rowlett, TX 75088**

City, State & Zip

Phone **(972) 475-0644**

Phone

E-Mail **KevinL@LawsonCPAs.com**

E-Mail

NOTARY VERIFICATION [REQUIRED]

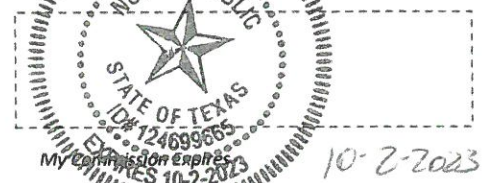
Before me, the undersigned authority, on this day personally appeared Kevin Lawson [Owner] the undersigned, who stated the information on this application to be true and certified the following:

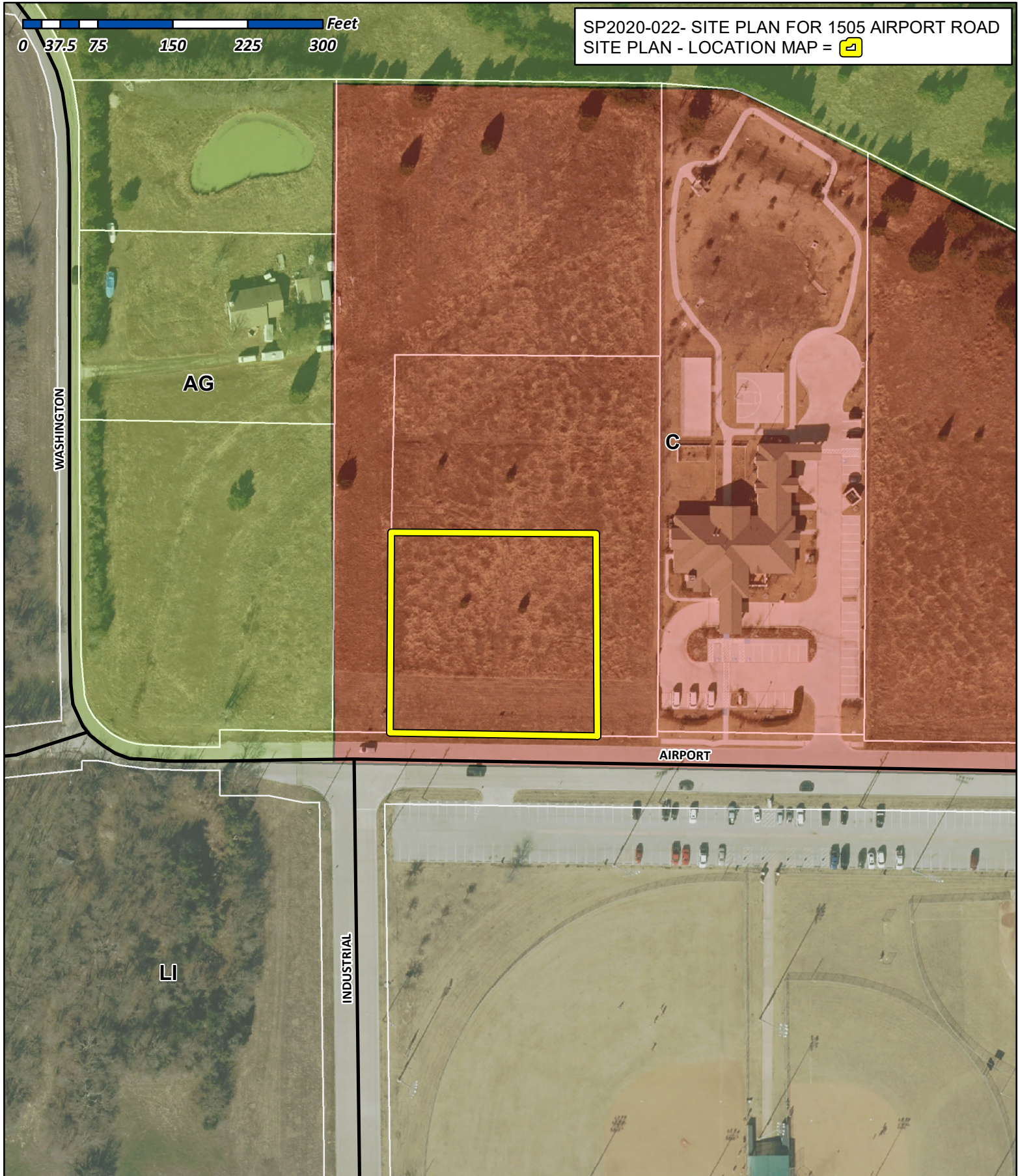
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 17th day of July, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated in request for public information."

Given under my hand and seal of office on this the 17th day of July, 2020.

Owner's Signature [Signature]

Notary Public in and for the State of Texas [Signature]



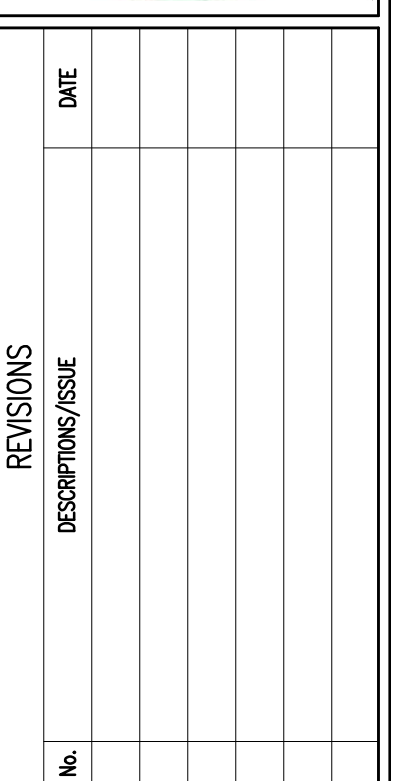
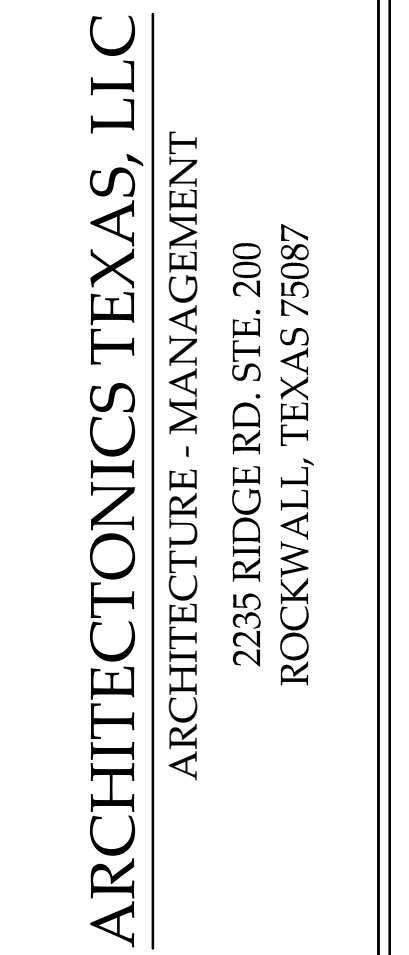


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





PROJECT NAME AND ADDRESS:
LAWSON REAL ESTATE
HOLDINGS, LLC
1505 AIRPORT RD.
ROCKWALL, TX 75087
LANDING POINT ADDITION

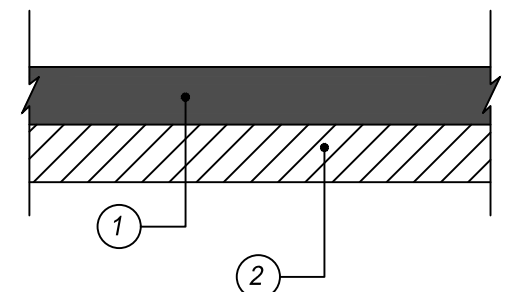
PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	09/02/2020
SCALE	1" = 10'
SHEET NO.	of

DRAWING NAME:

SITE
PLAN

S1.0

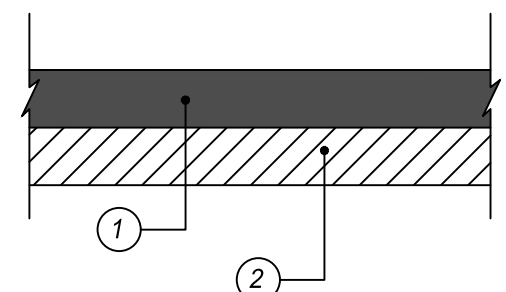
SP2020-022



FIRE LANE PAVEMENT SECTION

NTS

1. 6"-3,600 PSI CONCRETE PAVEMENT WITH NO.
3 BARS 24" ON CENTER BOTH WAYS.
(6.5 SACK MIX MIN.)
2. 6" COMPACTED LIME STABILIZED SUBGRADE.
SCARIFY 6" DEEP AND COMPACT TO A STANDARD
PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95%
AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE
CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE
COMPACTED WITH A SHEEP'S FOOT ROLLER.



PARKING AREA CONCRETE PAVEMENT SECTION
NTS

1. 5" 3,600 PSI CONCRETE PAVEMENT WITH NO.
3 BARS 24" ON CENTER BOTH WAYS.
(6.5 SACK MIX MIN.)
2. 6" COMPACTED LIME STABILIZED SUBGRADE.
SCARIFY 6" DEEP AND COMPACT TO A STANDARD
PROCTOR MAXIMUM DRY DENSITY NOT LESS THAN 95%
AND WITHIN 2% BELOW AND 4% ABOVE OPTIMUM MOISTURE
CONTENT. NO SAND ALLOWED. ALL GENERAL FILL TO BE
COMPACTED WITH A SHEEP'S FOOT ROLLER.

SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION		LOT PERCENTAGE
LOT	20,748 S.F.	100 %
IMPERVIOUS	12,041 S.F.	58 %
1 STORY SURFACE AREA	5,444 S.F.	26 %
PAVEMENT AREA	5,382 S.F.	26 %
PERVIOUS	8,707 S.F.	42 %
SIDEWALK AREA	1,215 S.F.	6 %
MAX. BUILDING HEIGHT PROPOSED	25'	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,988 S.F.	
PARKING PROVIDED	21	
PARKING REQ'D	17	

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, _____.

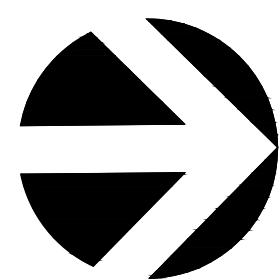
WITNESS OUR HANDS, THIS ____ DAY OF _____, ____.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

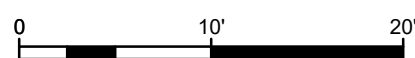
OWNER/DEVELOPER:
LAWSON REAL ESTATE
HOLDINGS, LLC
4509 ROWLETT RD.
ROWLETT, TX 75088
(972)475-0644

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



SITE PLAN

SCALE: 1"=10'



LANDING POINT
ADDITION
LOT 4
20,655 sq. ft.
0.47 ACRES

OFFICE BUILDING
4,988 SQ. FT.

LANDING POINT
ADDITION
LOT 5 BLOCK A
0.47 ACRES

PROPERTY LINE

N89°37'27"W
— — — — —
24

102.73'
—
ACCESS & UTIL. ESMT.

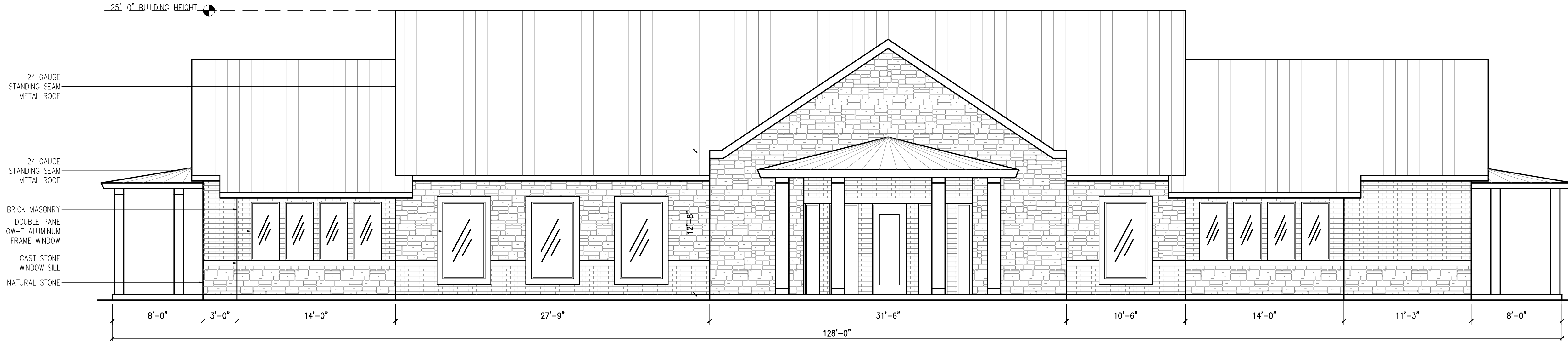
- FIRE HYDRANT W/
10'X10' EASEMENT
(VERIFY LOCATION)

S00°22'33"W 381.20'

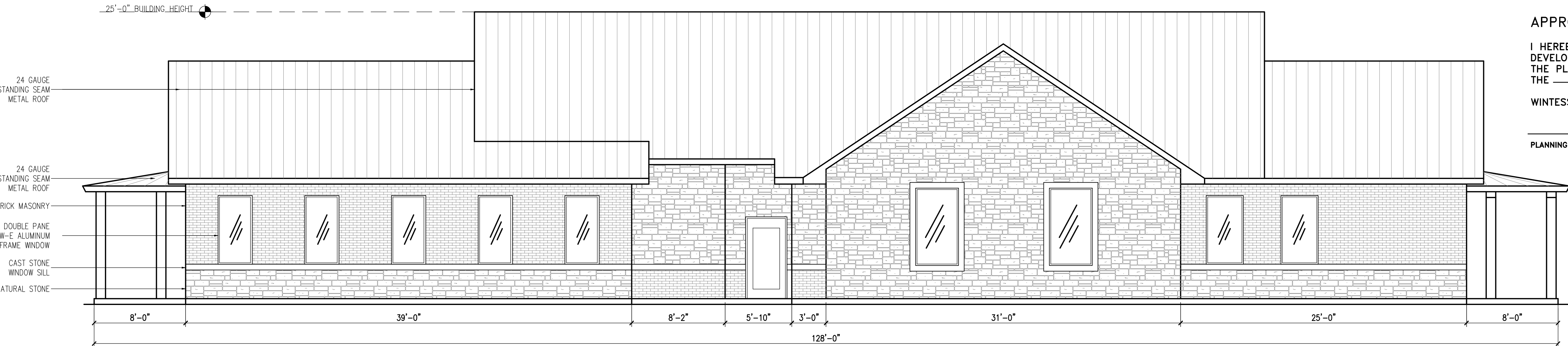
AIRPORT ROAD
(VARIABLE WIDTH R.O.W. PER PLAT)

OWNER/DEVELOPER:
LAWSON REAL ESTATE
HOLDINGS, LLC
4509 ROWLETT RD.
ROWLETT, TX 75088
(972)475-0644

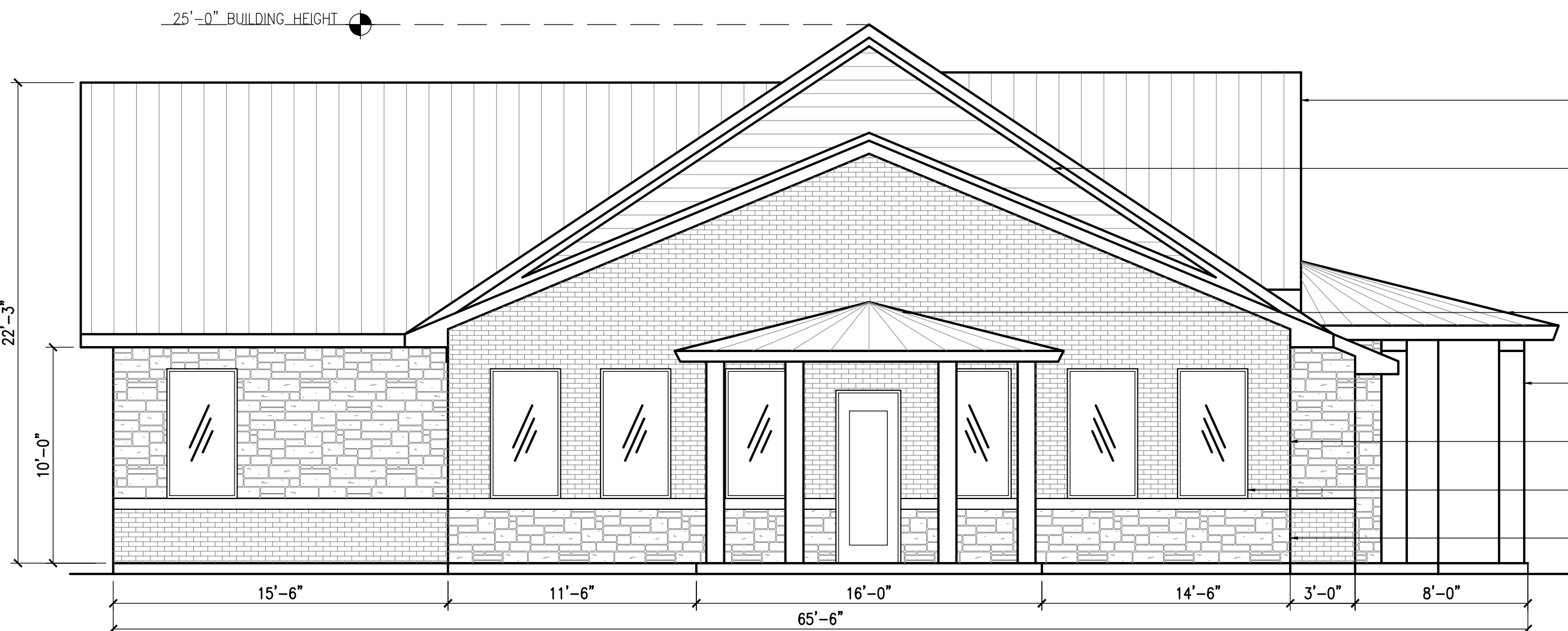
ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



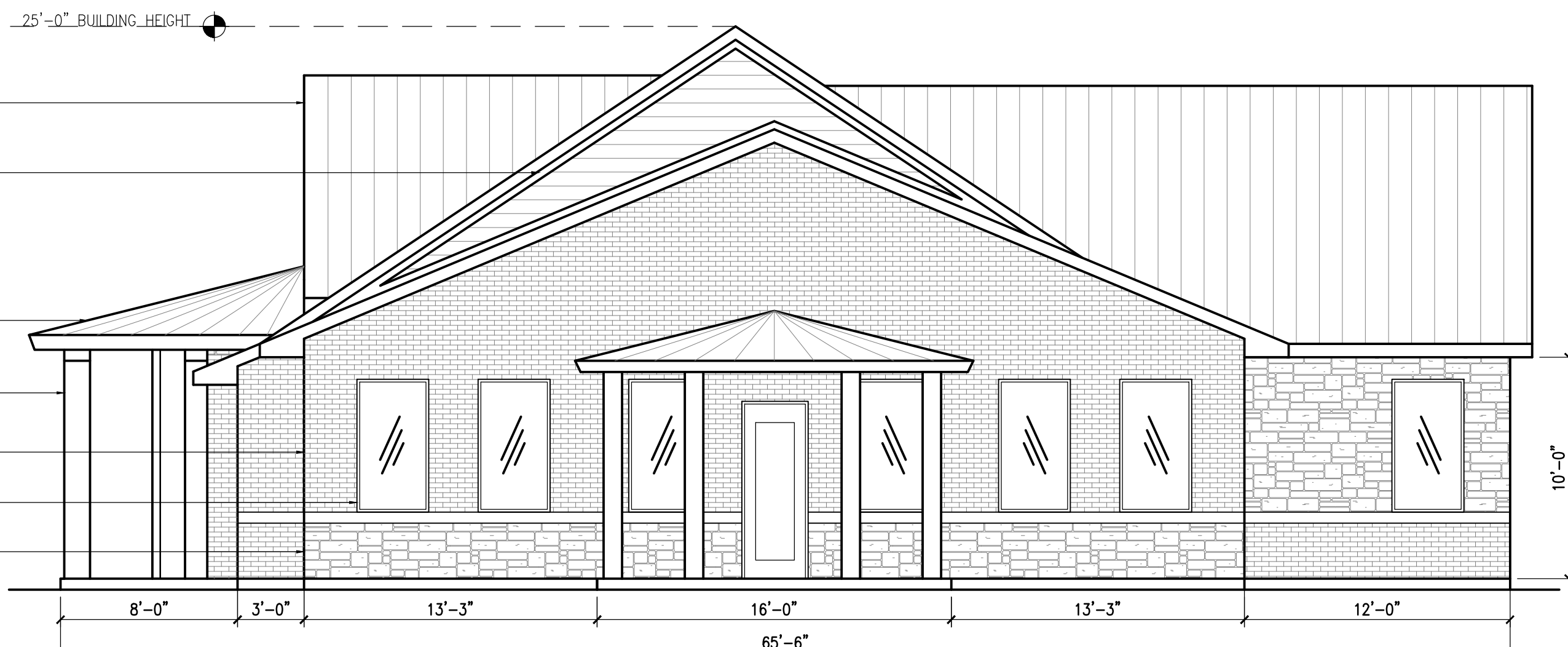
EAST ELEVATION (FRONT ENTRANCE)
SCALE: 3/16" = 1'



WEST ELEVATION
SCALE: 3/16" = 1'



SOUTH ELEVATION (FACING AIRPORT RD.)
SCALE: 3/16" = 1'



NORTH ELEVATION
SCALE: 3/16" = 1'

MATERIAL USAGE (%) - EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,273	
DOORS & WINDOWS (DEDUCTED)		285	
ACCOUNTABLE AREA		988	100%
MASONRY - BRICK		381	39%
NATURAL STONE		527	53%
CAST STONE		80	8%

MATERIAL USAGE (%) - WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		1,339	
DOORS & WINDOWS (DEDUCTED)		197	
ACCOUNTABLE AREA		1,142	100%
MASONRY - BRICK		351	30%
NATURAL STONE		753	66%
CAST STONE		38	4%

MATERIAL USAGE (%) - SOUTH (FACING AIRPORT RD.)			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		894	
DOORS & WINDOWS (DEDUCTED)		157	
ACCOUNTABLE AREA		737	100%
NATURAL STONE		308	42%
MASONRY - BRICK		335	45%
CEMENT BOARD		66	9%
CAST STONE		28	4%

MATERIAL USAGE (%) - NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		878	
DOORS & WINDOWS (DEDUCTED)		157	
ACCOUNTABLE AREA		721	100%
NATURAL STONE		241	33%
MASONRY - BRICK		383	53%
CEMENT BOARD		69	10%
CAST STONE		28	4%

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, ____.

WITNESS OUR HANDS, THIS ____ DAY OF _____, ____.

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION		LOT PERCENTAGE
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MAX. BUILDING HEIGHT PROPOSED	25'	
PARKING REQUIREMENTS		
OFFICE (1,300 S.F.)	4,988 S.F.	
PARKING PROVIDED	21	
PARKING REQ'D	17	



ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



REVISIONS		DATE
NO.	DESCRIPTION/ISSUE	

PROJECT NAME AND ADDRESS:
LAWSON REAL ESTATE HOLDINGS, LLC
1505 AIRPORT RD.
ROCKWALL, TX 75087
LANDING POINT ADDITION

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	09/02/2020
SCALE	
SHEET NO.	of

DRAWING NAME:

ELEVATIONS







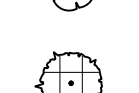
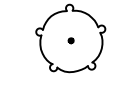
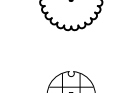
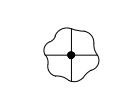


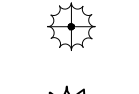



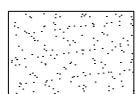
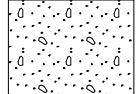


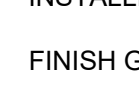

A1.0

SP2020-022

OWNER/DEVELOPER:
LAWSON REAL ESTATE HOLDINGS, LLC
4509 ROWLETT RD.
ROWLETT, TX 75088
(972)475-0644

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	Ao	Acer rubrum 'October Glory' / Red Maple 4" cal.	B & B	2
	Cl	Chilopsis l 'Lucretia Hamilton' / Desert Willow 3" cal. * ROCKWALL APPROVED TREE	B & B	2
	Pe	Pinus eldarica / Afghan Pine 6" cal. * ROCKWALL APPROVED TREE	B & B	2
	Qv	Quercus virginiana / Southern Live Oak 6" cal. * ROCKWALL APPROVED TREE	B & B	3
	Ss	Sophora secundiflora / Texas Mountain Laurel 2" cal.	20" Box	2
	Tax	Taxodium distichum / Bald Cypress 4" cal. * ROCKWALL APPROVED TREE	B & B	1
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Hp	Hesperaloe parviflora / Red Yucca * ROCKWALL APPROVED PLANT	5 gal	12
	Lm	Lantana montevidensis 'New Gold' / Gold Lantana	1 gal	11
	Lg	Leucophyllum frutescens 'Green Cloud' / Texas Ranger * ROCKWALL APPROVED PLANT	5 gal	12
	Ls	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum	5 gal	5
	Lp	Loropetalum chinense 'Purple Diamond' / Fringe Flower * ROCKWALL APPROVED PLANT	5 gal	10
	Msc	Mahonia 'Soft Caress' / Soft Caress Mahonia	3 gal	3
	Ma	Miscanthus sinensis 'Adagio' / Dwarf Maiden Grass * ROCKWALL APPROVED PLANT	5 gal	6
	Mr	Muhlenbergia capillaris / Muhly Grass * ROCKWALL APPROVED PLANT	5 gal	9
	Ph	Pennisetum a. 'Hameln' / Dwarf Fountain Grass * ROCKWALL APPROVED PLANT	5 gal	16
	Rop	Rosmarinus officinalis 'Prostratus' / Trailing Rosemary * ROCKWALL APPROVED PLANT	1 gal	6
	Sg	Salvia greggii 'Pink' / Pink Autumn Sage	3 gal	14
	Yp	Yucca pendula / Soft Leaf Yucca * ROCKWALL APPROVED PLANT	5 gal	3
CACTI	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	Af	Agave ovatifolia 'Frosty Blue' / Whale's Tongue Agave	5 gal	1
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	Crr	Colorado River Rock / 3" to 6"	6" deep	50 sf
	Ch	Cynodon dactylon '419 Hybrid' / Bermuda Grass * ROCKWALL APPROVED PLANT	sod	4,044 sf
	Tb	Tejas Black / 5/8"	2" deep	1,553 sf

ALL TREES IN GRASS TO HAVE A 4' DIA. MULCH RING

GENERAL LANDSCAPE NOTES:

- INSTALLING LANDSCAPE CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING.
- FINISH GRADE TO BE 9" BELOW FINISH FLOOR. SLOPE GRADE AT 2% MINIMUM AWAY FROM BUILDING.
- REFER TO CIVIL GRADING PLAN FOR ADDITIONAL GRADING AND DRAINAGE INFORMATION.

CONTRACTOR TO FIELD VERIFY ALL UTILITY LINES, EASEMENTS, SETBACKS, GRADES, HARDSCAPE AND PLANTING ELEMENTS PRIOR TO INSTALLATION. CONTRACTOR TO LAYOUT ALL PLANTING MATERIALS PRIOR TO INSTALLATION TO IDENTIFY ANY CONFLICTS WITH UTILITIES, EASEMENTS OR OTHER EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITY LINES OR ANY OTHER DAMAGE DONE TO THE SITE. CONTRACTOR TO CONTACT TEXAS 811 AT LEAST 48 HOURS IN ADVANCE OF ANY EXCAVATION ON SITE.

CONTRACTOR TO FOLLOW ANY AND ALL APPLICABLE RULES, REGULATIONS, CODES AND ORDINANCES.

CONTRACTOR RESPONSIBLE FOR PULLING ALL APPLICABLE PERMITS FOR WORK DONE ON SITE.

CONTRACTOR TO VERIFY ALL QUANTITIES ON THE LANDSCAPE PLANS. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.

CONTRACTOR RESPONSIBLE FOR PROVIDING AND MAINTAINING A SAFE WORK ENVIRONMENT. CHECK WITH GENERAL CONTRACTOR REGARDING JOB SITE RULES AND REGULATIONS.

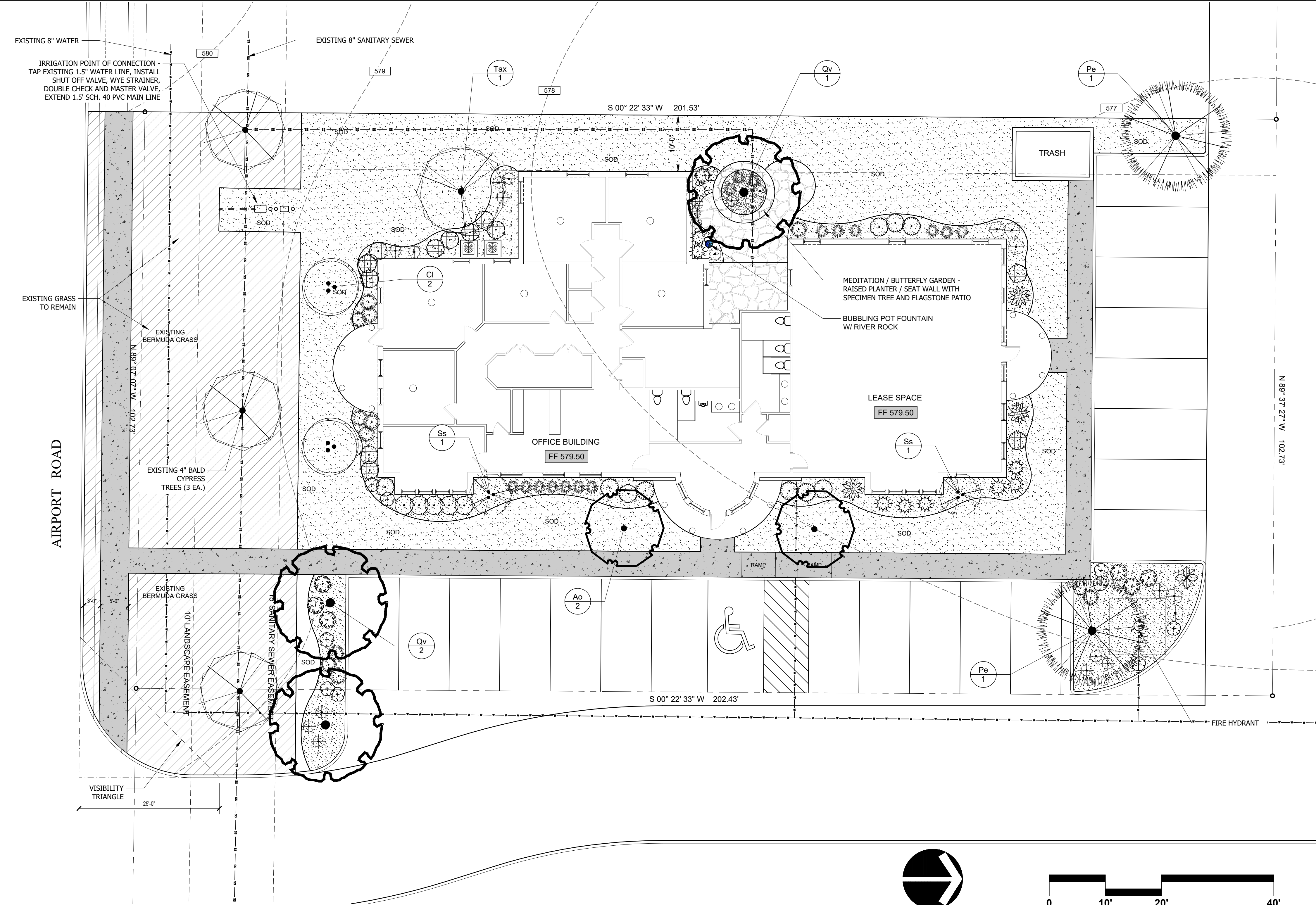
TREE PLANTING AREAS ARE TO PROVIDE A MINIMUM OF 12' OF FRIABLE NATIVE SOIL MEETING THE REQUIREMENTS OF THE PLANTING NOTES AND SPECIFICATIONS.

CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH OTHER TRADES AT THE DIRECTION OF THE GENERAL CONTRACTOR.

UPON REASONABLE COMPLETION OF THE SCOPE OF WORK, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WHEEL RUTS, SETTLING FORM SOIL AMENDMENT, EROSION OR OTHER COSMETIC LANDSCAPE SITE ELEMENTS PENDING APPROVAL BY GENERAL CONTRACTOR.

CONTRACTOR TO PROVIDE PHOTOS OF ALL NURSERY STOCK AT LEAST 1 MONTH PRIOR TO PURCHASE FOR APPROVAL BY OWNER'S REPRESENTATIVE.

CONTRACTOR TO PROVIDE A 1 YEAR WARRANTY FOR ALL PLANT MATERIAL AFTER FINAL ACCEPTANCE OF LANDSCAPE BY OWNER'S REPRESENTATIVE.



A LANDSCAPE PLAN

THE IRRIGATION SYSTEM FOR THIS PROJECT IS TO CONSIST OF A 8 STATION SMART CONTROLLER WITH WI-FI CAPABILITIES AND A WIRELESS RAIN / FREEZE SENSOR. SHRUBS WILL BE IRRIGATED WITH IN-LINE DRIP TUBE FED FROM 1" DRIP ZONE VALVE ASSEMBLIES. LAWN AREAS TO BE IRRIGATED WITH LOW FLOW ROTARY NOZZLES ON 4" POP-UP BODIES. POINT OF CONNECTION, BACKFLOW, WYE STRAINER AND SHUT OFF VALVE TO BE INSTALLED PER CITY OF ROCKWALL STANDARD IRRIGATION REQUIREMENTS.

ZONING: COMMERCIAL

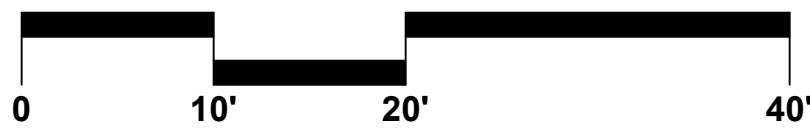
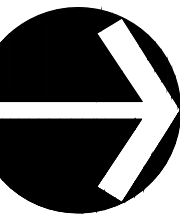
REQUIRED PLANTINGS

A. STREET TREES:
1 TREE FOR EVERY 50 L.F. OF FRONTAGE
Airport Road - 102.73 / 50 = 2.05

2 TREES REQUIRED
(3) EXISTING 4" TREES PROVIDED

NOTE:
NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES

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PERVIOUS	8,707 S.F.	42 %
SIDEWALK AREA	1,215 S.F.	6 %
MAX. BUILDING HEIGHT PROPOSED	25'	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,988 S.F.	
PARKING PROVIDED	21	
PARKING REQ'D	17	



NORTH GRAPHIC SCALE SCALE: 1" = 10'-0"

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, ____.

WITNESS OUR HANDS, THIS ____ DAY OF _____, ____.

PLANNING AND ZONING COMMISSION DIRECTOR OF PLANNING AND ZONING

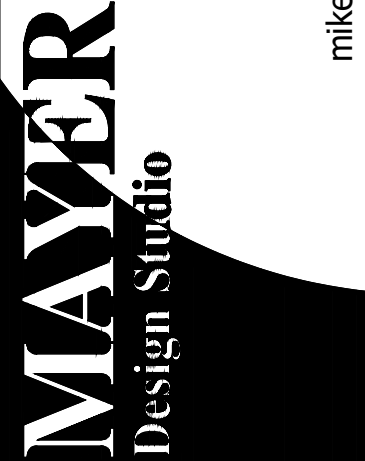


OWNER/DEVELOPER:
LAWSON REAL ESTATE HOLDINGS, LLC
4509 ROWLETT RD.
ROWLETT, TX 75088
(972)475-0644

ARCHITECT/PLANNER:
ARCHITECTONICS TEXAS, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087

LAWSON LANDSCAPE PLANS

Landscape Architecture
TX #5629 NV #583
2617 Jasmine Lane
Plano, TX 75074
voice (702) 339-0825
mike@mayerdesignstudio.com



REVISIONS	DATE	BY
1		
2		
3		
4		

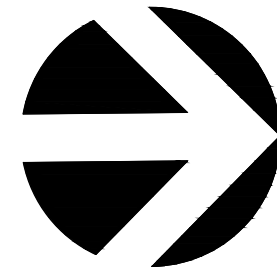
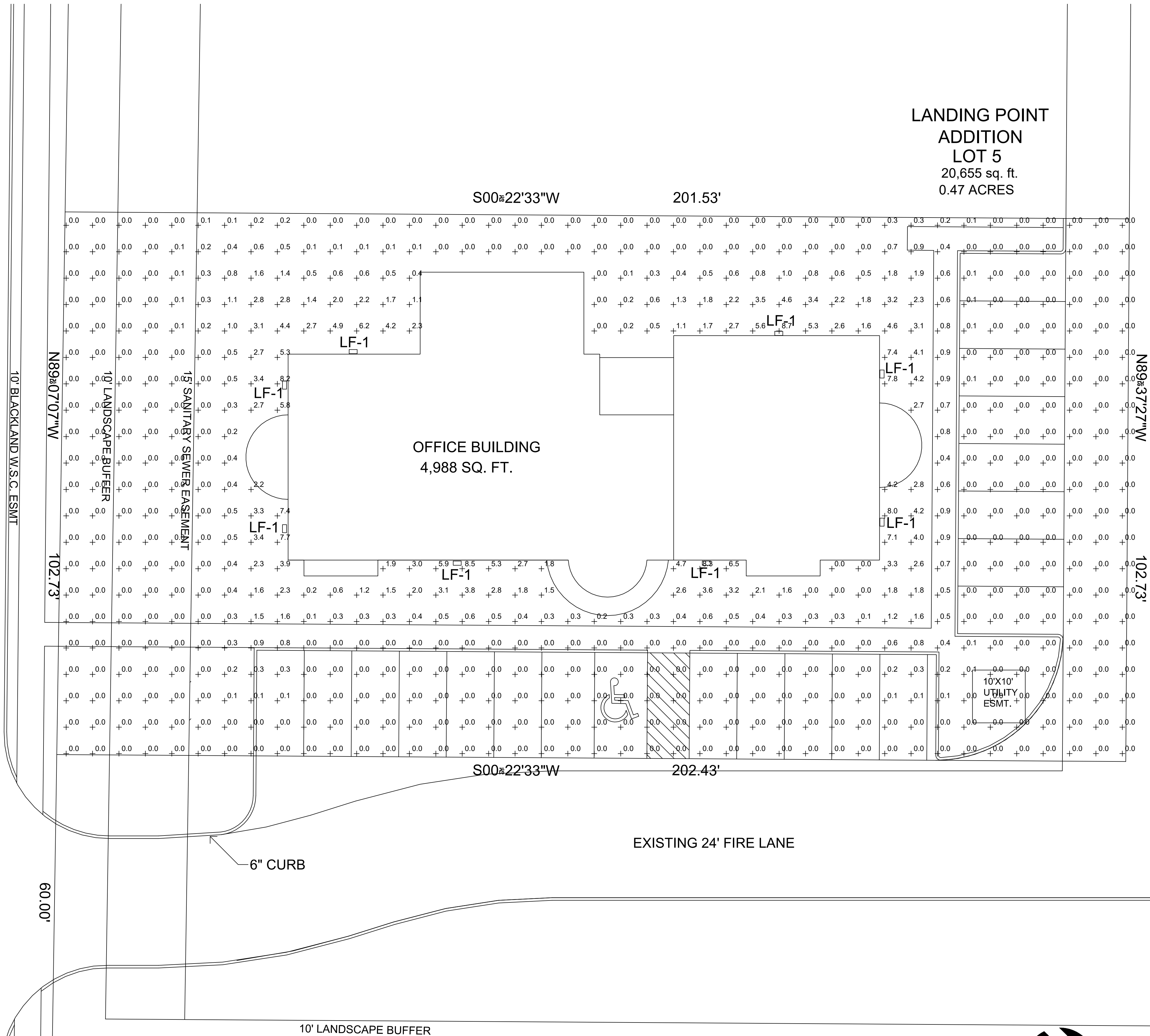
PLANTING PLAN

JOB:
Lawson Real Estate Holdings LLC
AIRPORT ROAD
ROCKWALL, TX 75087

20-10-102
JOB#:
AUGUST 14, 2020
DATE:

L2.1
SHEET:

AIRPORT ROAD
(VARIABLE WIDTH R.O.W. PER PLAT)



PHOTOMETRIC PLAN

SCALE: 1"=10'
0 10' 20'

OWNER/DEVELOPER:
LAWSON REAL ESTATE
HOLDINGS, LLC
4509 ROWLETT RD.
ROWLETT, TX 75088
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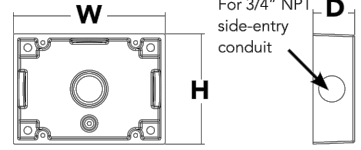
WSQ LED Architectural Wall Sconce



Inverted available with
WLU option only.

Optional Back Box (BBW)

Height: 4" (10.2 cm)
Width: 5-1/2" (14.0 cm)
Depth: 1-1/2" (3.8 cm)



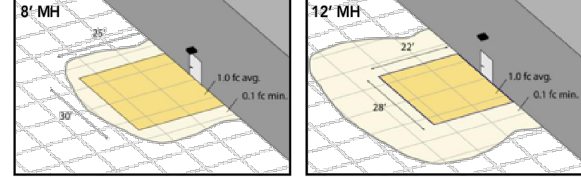
Ordering Information

EXAMPLE: WSQ LED P2 40K SR3 MVOLT DDBTXD

WSQLED	Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting	Options	Finish (required)
WSQLED	P1		30K	SR2 Type II	120	Shipped included (blank)	Shipped installed	Dark bronze
	P2		40K	SR3 Type III	208	Surface mount	PE Photoelectric cell, button type ^{1,3}	Black
	P3		50K	SR4 Type IV	240	Shipped separately ²	SF Single fuse (120, 277, 347V) ⁴	Natural aluminum
	P4				240	BBW Surface-mounted back box	DMC Double fuse (208, 240, 480V) ⁴	White
					277		DMC 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)	Sandstone
					347		EOBWC Emergency battery backup, Certified in CA Title 20 MAERS (10W, 20°C) ⁵	Textured dark bronze
					480		E10WH Emergency battery backup, Certified in CA Title 20 MAERS (10W, 20°C) ⁵	Textured black
							WLU Wet location door for up orientation ⁶	Textured natural aluminum
							PIR Motion/ambient light sensor ⁷	Textured white
							DS Dual switching ⁸	
							SPD Separate Surge Protection ⁹	
							Shipped separately	
							VG Vandal guard	
							WG Wire guard	

Emergency Battery Operation

The emergency battery backup (E20WC & E10WH options) is integral to the luminaire - no external housing required. This design provides reliable emergency operation while maintaining the aesthetics of the product. All E20WC & E10WH configurations include an independent secondary driver with an integral relay to immediately detect AC power loss. The emergency battery will power the luminaire for a minimum duration of 90 minutes (minimum duration of three hours from the time supply power is lost, per International Building Code Section 1010 and NFPA 101 Life Safety Code Section 7.7.5, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions. The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package Type IV product in emergency mode.



Commercial Outdoor One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-7378 • www.lithonia.com

WSQ LED
Rev. 04/22/19

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____,

WITNESS OUR HANDS, THIS ____ DAY OF _____,

PLANNING AND ZONING COMMISSION

DIRECTOR OF PLANNING AND ZONING

SITE SUMMARY - COMMERCIAL ZONING		
DESCRIPTION		LOT PERCENTAGE
LOT	20,748 S.F.	100 %
IMPERVIOUS	12,041 S.F.	58 %
1 STORY SURFACE AREA	5,444 S.F.	26 %
PAVEMENT AREA	5,382 S.F.	26 %
PERVIOUS	8,707 S.F.	42 %
SIDEWALK AREA	1,215 S.F.	6 %
MAX. BUILDING HEIGHT PROPOSED	25'	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	4,988 S.F.	
PARKING PROVIDED	21	
PARKING REQ'D	17	

ARCHITECTONICS TEXAS, LLC
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087

DATE	REVISIONS	DESCRIPTIONS/ISSUE

PROJECT NAME AND ADDRESS:
LAWSON REAL ESTATE
HOLDINGS, LLC
1505 AIRPORT RD.
ROCKWALL, TX 75087
LANDING POINT ADDITION

PROJECT No.	
DRAWN BY	
CHECKED BY	
DATE	08/14/2020
SCALE	
SHEET NO.	of

DRAWING NAME:
PHOTOMETRIC PLAN

P1.0

SP2020-014



1501 AIRPORT ROAD - FACING E



CLASSIC STONE - AUSTIN LIMESTONE
MAIN PORTION



PACKER BRICK- SHELLMANS BLUFF



FABRAL- STANDING SEAM METAL ROOF
MEDIUM BRONZE L09

PROJECT ADDRESS:
1501 AIRPORT ROAD
ROCKWALL, TEXAS 75087

OWNER/DEVELOPER:
LAWSON REAL ESTATE
HOLDINGS, LLC
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
RAMSAY & REYES, LLC
2235 RIDGE RD.
ROCKWALL, TEXAS 75032



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: September 15, 2020

APPLICANT: Patrick Wells

CASE NUMBER: Z2020-033; *Specific Use Permit (SUP) for a Residential Infill for 210 Wade Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on July 6, 1959 by *Ordinance No. 59-02*. The subject property along with the adjacent properties were platted as Lots 1 & 2, Block A, Richard Harris # 3 Addition, which was filed with Rockwall County on April 14, 1983. In 1984, single-family homes were constructed on both Lots 1 & 2. On April 15, 2019, the City Council approved a replat of these lots creating Lots 3, 4, & 5, Block A, Richard Harris #3 Addition. This replat subdivided off the back 75.68-feet of Lots 1 & 2 to establish the Lot 3 (*i.e. the subject property*). The subject property has remained vacant since the replat.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 210 Wade Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 30-foot unimproved alleyway followed by two (2) lots zoned Single-Family 7 (SF-7) District. These properties are developed with single family homes. One (1) of the homes (*i.e. 201 S. Clark Street*), is located within the Old Town Rockwall Historic District and is identified as Medium Contributing on the 2020 Historic Resource Survey. Beyond this is E. Washington Street, which is classified as a *TXDOT4D* (*i.e. Texas Department of Transportation, four [4] lane divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Howard Dobbs Elementary School, which is Single-Family 7 (SF-7) District.

South: Directly south of the subject property are two (2) lots zoned Single-Family 7 (SF-7) District. These lots addressed 705 & 707 Hartman Street, and comprise the rest of the Richard Harris #3 Subdivision. Each of these lots have a single-family home situated on them that was built in 1984. Beyond this is Hartman Street, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) lots zoned Single-Family 7 (SF-7) District and which are located within the Old Town Rockwall Historic District. Two (2) of the homes are considered Non-Contributing, one (1) is Low-Contributing, and one (1) is Medium-Contributing according to the 2020 Historic Resource Survey.

East: Directly east of the subject property is Wade Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are two (2) lots zoned Single-Family 7 (SF-7) District. The 0.33-acre property has two (2) single-family homes situated on it, which are addressed 709 & 711 Hartman Street. The other lot (i.e. 207 Wade Drive) is 3.574-acres and is vacant. Beyond this is 713 Hartman Street, which is zoned Single-Family 7 (SF-7) District and has a ~3,500 SF home situated on it.

West: Directly west of the subject property are two (2) single-family homes situated on two (2) lots that are zoned Single-Family 7 (SF-7). These properties are addressed as 209 & 211 S. Clark Street. Beyond this is S. Clark Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are multiple lots zoned Single-Family 7 (SF-7) District. These properties (i.e. 206, 208, 210, & 210 S. Clark Street) are developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within 500-feet of the Dawson Subdivision, which has been in existence for greater than ten (10) years, consists 16 lots, and is 100% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Wade Drive, Hartman Street, and S. Clark Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Wade Drive, Hartman Street, & S. Clark Street and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face onto Wade Drive.
Year Built	1911-1999	N/A
Building SF on Property	984 SF – 2,203 SF	2,418 SF (2,418 SF of Air-Conditioned Space)
Building Architecture	Single Family Homes	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 10-Feet and 20-Feet	20-Feet
Side	The side yard setbacks greater than six (6) feet.	X>6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	X>10-Feet
Building Materials	Composite Siding, Vinyl Siding, & Brick	HardiBoard Siding
Paint and Color	Red, White, Grey, Brown, & Green,	Undefined by the Applicant
Roofs	Composite Shingles and Standing Seam Metal	Asphalt Composite Shingle (Primary) & Metal Roof (Secondary over Covered Porch)
Driveways/Garages	Driveways all front the same street the single-family home faces. Two (2) exceptions exist on two (2) corner lots.	The garage will be detached and located behind the home to the south-west.

The proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Russell Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On August 18, 2020, staff mailed 50 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only Homeowner's Association (HOA)/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-033

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Restatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

\$215.00 check

PROPERTY INFORMATION (PLEASE PRINT)

Address 210 Wade STREET Rockwall TX 75087
Subdivision RICHARD HARRIS NO. 3 ADDITION Lot 3 Block A
General Location Hartman + Wade

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning Residential Current Use Residential
Proposed Zoning Residential Proposed Use Residential
9411 ft² = Acreage 0.22 Lots [Current] LOT 3 Lots [Proposed] LOT 3

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case. N/A

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input checked="" type="checkbox"/> Owner	<u>PATRICK S. WELLS</u>	<input type="checkbox"/> Applicant	<u>SAME AS OWNER INFO</u>
Contact Person	<u>PATRICK S. WELLS</u>	Contact Person	<u>"</u>
Address	<u>711 Stillwater DR.</u>	Address	<u>"</u>
City, State & Zip	<u>Rockwall, Tx. 75087</u>	City, State & Zip	<u>"</u>
Phone	<u>214-280-6469</u>	Phone	<u>"</u>
E-Mail	<u>pwells9@icloud.com</u>	E-Mail	<u>PWELLS9@icloud.com</u> <u>pwells9@icloud.com</u>

NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared Patrick Wells [Owner] the undersigned, who stated the information on this application to be true and certified the following. 215.00

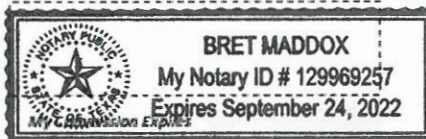
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 3rd day of August, 20 22.

Owner's Signature

Patrick S. Wells

Notary Public in and for the State of Texas

[Signature]



Z2020-033- SUP FOR 210 WADE DRIVE
ZONING - LOCATION MAP = [icon]

SF-7

WADE

HARTMAN



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

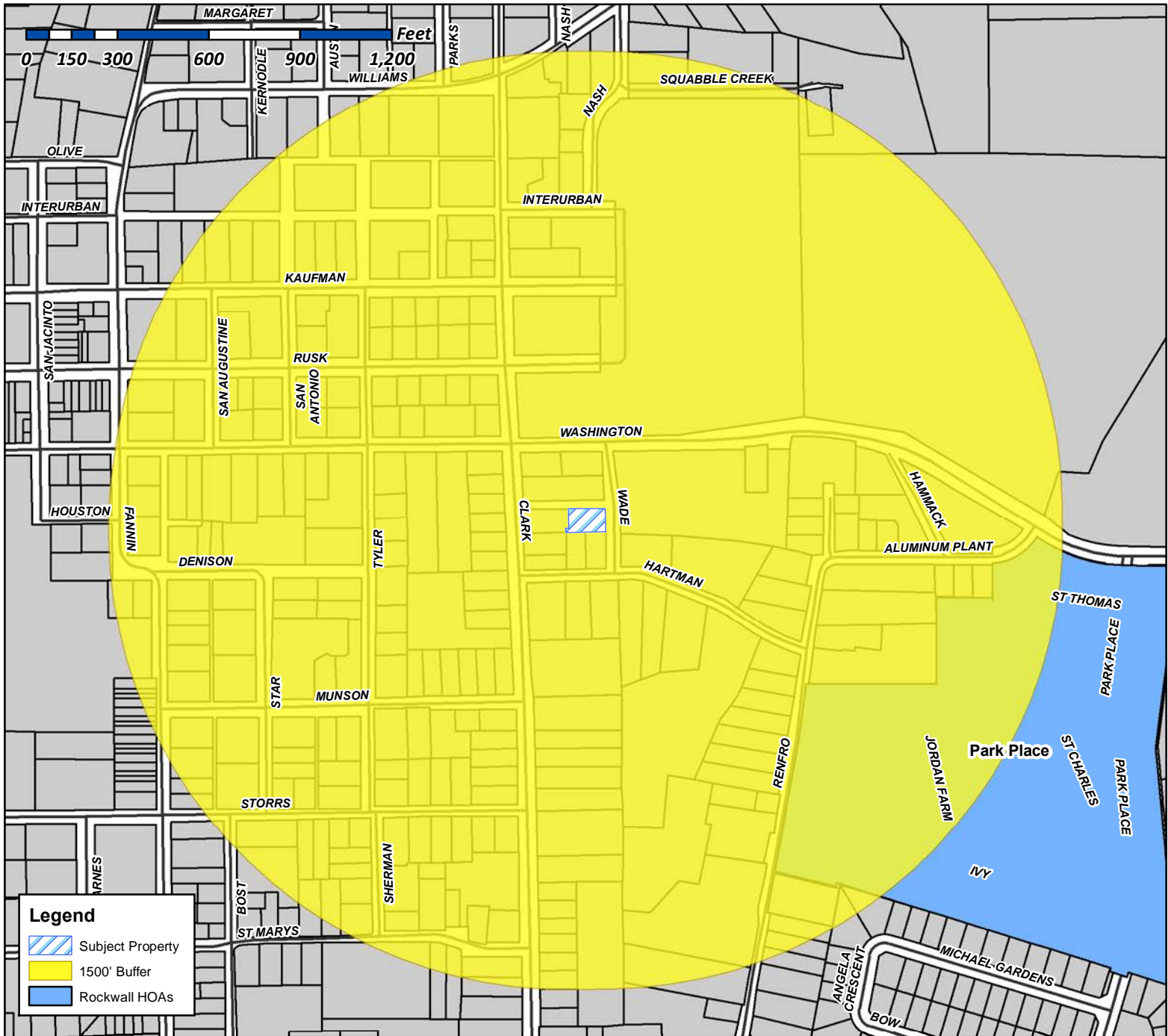




City of Rockwall

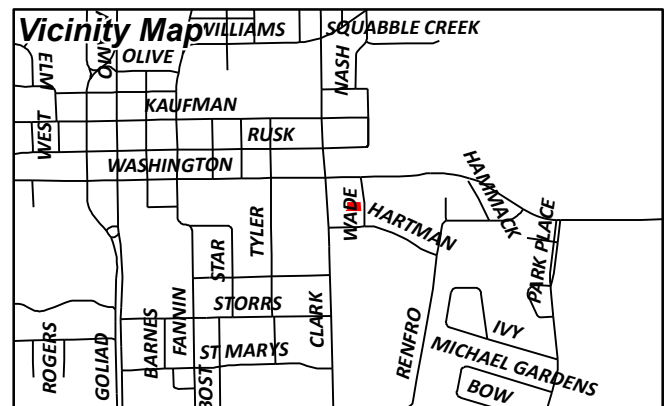
Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2020-033
Case Name: SUP for 210 Wade Drive
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 210 Wade Drive

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745



From: Gamez, Angelica
Sent: Tuesday, August 18, 2020 5:00 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (08.13.2020).pdf; Public Notice (08.18.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, August 21, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-033 SUP for Residential Infill at 210 Wade Street

Hold a public hearing to discuss and consider a request by Patrick Wells for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

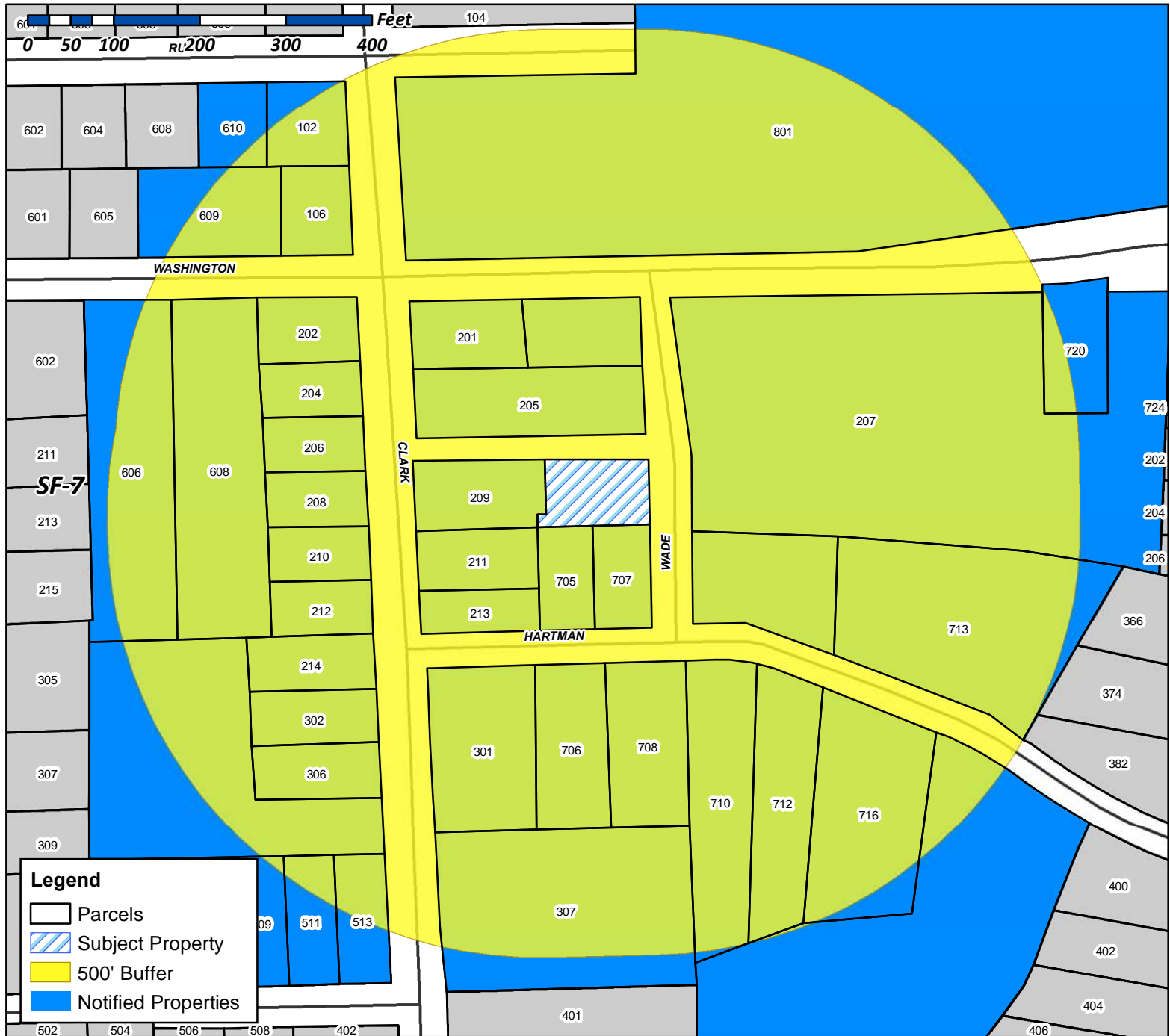
<http://www.rockwall.com/planning/>



City of Rockwall

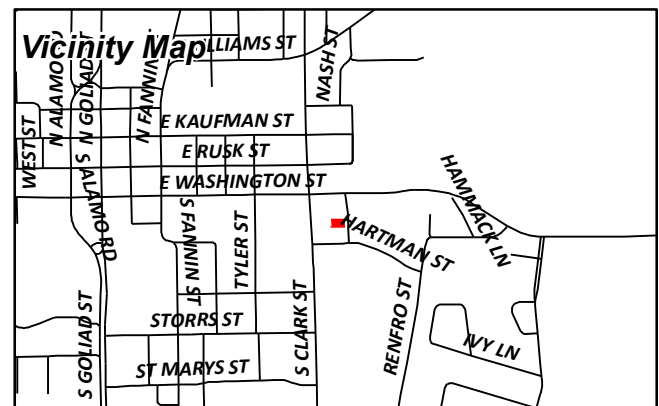
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-033
Case Name: SUP for 210 Wade Drive
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 210 Wade Drive

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745



MASSEY GREGORY
102 S CLARK
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
106 S CLARK
ROCKWALL, TX 75087

BOREN TERRY L ETUX
113 S BERNICE DR
GARLAND, TX 75042

CASEY CAMPBELL
201 S CLARK
ROCKWALL, TX 75087

RICH LISA
202 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
204 S CLARK
ROCKWALL, TX 75087

HENRY AMANDA A
205 S CLARK
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
206 S CLARK
ROCKWALL, TX 75087

WOOD WILLIAM AND SANDIE
207 WADED R
ROCKWALL, TX 75087

KOCH JEAN
208 S CLARK
ROCKWALL, TX 75087

LEFERE KEVIN M AND
AMANDA HENRY
209 S CLARK ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX

MUNSON PARTNERS 1 LLC
210 S CLARK
ROCKWALL, TX 75087

WILKINSON LYNN L & CHAD DAVID
211 S CLARK ST
ROCKWALL, TX 75087

ZAKEM KYNISIE JO
212 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
213 S CLARK
ROCKWALL, TX 75087

SIMPSON MELISSA HUFFAKER
214 S CLARK ST
ROCKWALL, TX 75087

CAUBLE LINDA
301 S CLARK ST
ROCKWALL, TX 75087

BURGESS JULIA ANN
302 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
306 S CLARK
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L
307 S CLARK
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
309 GLENN AVE
ROCKWALL, TX 75087

KOCH JEAN
3720 MEDITERRANEAN
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI
508 HIGHVIEW
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
509 MUNSON
ROCKWALL, TX 75087

FLORES JAMES AND
511 MUNSON
ROCKWALL, TX 75087

BOREN TERRY L ETUX
513 MUNSON
ROCKWALL, TX 75087

CARSON HEATHER
606 E WASHINGTON ST
ROCKWALL, TX 75087

JONES CLYDE AND CHRISTY
608 E WASHINGTON
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
608 E WASHINGTON
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET
609 EAST WASHINGTON STREET
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN
610 E RUSK ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
705 HARTMANST
ROCKWALL, TX 75087

CHERRY J DALE AND TEDDI
706 HARTMAN
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
707 HARTMANST
ROCKWALL, TX 75087

SHELTON HEATHER
708 HARTMAN ST
ROCKWALL, TX 75087

RENDON MARCELINO J JR
710 HARTMAN ST
ROCKWALL, TX 75087

ANDERSON TREVOR
711 HARTMAN ST
ROCKWALL, TX 75087

WELLS PATRICK S & RHONDA C
711 STILLWATER DR
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

PIERCY DUANE AND JENNIFER
713 HARTMAN
ROCKWALL, TX 75087

HOOVER LINDA WEST-
716 HARTMAN STREET
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
720 E WASHINGTON
ROCKWALL, TX 75087

ROCKWALL I S D
801 E WASHINGTON
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
815 T L TOWNSEND STE 100
ROCKWALL, TX 75087

RIDDLE TYLER AND MEGAN L
8660 COLONY CLUB DR
ALPHARETTA, GA 30022

WOOD WILLIAM AND SANDIE
8718 CLEARLAKE DR
ROWLETT, TX 75088

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
PO BOX 868
ROCKWALL, TX 75087

ABBREVIATIONS:

A/C	==	AIR CONDITIONED	MC	==	MEDICINE CABINET
ADJ	==	ADJUSTABLE	MICRO	==	MICROWAVE
A.F.F.	==	ABOVE FINISHED FLOOR	MIN	==	MINIMUM
BD	==	BOARD	N.T.S.	==	NOT TO SCALE
BLDG	==	BUILDING	O.H.	==	OVERHEAD
B.O.	==	BOTTOM OF	O.C.	==	ON CENTER
CAB	==	CABINET	O.C.E.W.	==	ON CENTER EACH WAY
CER	==	CERAMIC			
CL	==	CENTER LINE	PL	==	PLATE
CLG	==	CEILING	PLAS	==	PLASTIC
CLO	==	CLOSET	PWDR	==	POWDER
C.O.	==	CASED OPENING	REF	==	REFERENCE
COL	==	COLUMN	REFG	==	REFRIGERATOR
CONC	==	CONCRETE	REQ	==	REQUIRED
CONT	==	CONTINUOUS	RM	==	ROOM
COORD	==	COORDINATE	R/S	==	ROD & SHELF
DBLE	==	DOUBLE	SCHED	==	SCHEDULE
DIM	==	DIMENSION	S.F.	==	SQUARE FEET
DN	==	DOWN	SH	==	SHELF
D.S.	==	DOWN SPOUT	SHLVS	==	SHELVES
DW	==	DISH WASHER	SIM	==	SIMILAR
DWR	==	DRAWER	SL	==	SLOPE
ELEC	==	ELECTRIC	SPR	==	SPRINKLER
ELEV	==	ELEVATION	S.S.	==	STAINLESS STEEL
EO	==	EQUAL	STL	==	STEEL
ESMT	==	EASEMENT	STOR	==	STORAGE
EXT	==	EXTERIOR	STRUCT	==	STRUCTURAL
EXIST	==	EXISTING	TC	==	TRASH COMPACTOR
F.F.E.	==	FINISH FLOOR ELEVATION	T&G	==	TONGUE & GROOVE
FLR	==	FLOOR	THK	==	THICK
FREZ	==	FREEZER	T.O.	==	TOP OF
GALV	==	GALVANIZED	T/R	==	TREAD & RISER
GFI	==	GROUND FAULT INTERRUPTER	TV	==	TELEVISION
			TYP	==	TYPICAL
GL	==	GLASS	U.C.	==	UNDER COUNTER
GYP	==	GYPSUM	U.M.	==	UNDER MOUNT
Hb	==	HOSE BIB	UTIL	==	UTILITY
H.C.	==	HANDICAPPED	VEST	==	VESTIBULE
HT	==	HEIGHT	V.I.F.	==	VERIFY IN FIELD
INSUL	==	INSULATION	W.C.	==	WATER CLOSET
LAV	==	LAVATORY	W/D	==	WASHER & DRYER
LAM	==	LAMINATE	WD	==	WOOD
MANUF	==	MANUFACTURER	W.H.	==	WATER HEATER
MAX	==	MAXIMUM	W.I.	==	WROUGHT IRON
MECH	==	MECHANICAL	WP.	==	WATER PROOF
			WRM	==	WARMING

GRAPHIC SYMBOLS:

1. - - - - -	INDICATES HIDDEN, FUTURE, ABOVE OR EXISTING	7.	INDICATES STEP
2.	INDICATES SECTION	8.	DOOR MARK
3.	INDICATES BUILDING SECTION	9.	WINDOW MARK
4.	INDICATES ELEVATION VIEW	10.	INDICATES BREAK LINE
5.	INDICATES DETAIL	11.	FROST PROOF HOSE BIB
6.	INDICATES ELEVATION CONTROL	12.	GAS KEY @ FIREPLACE

NOT ALL SYMBOLS USED

DESCRIPTION OF PROPERTY:

LEGAL DESCRIPTION:	PROPERTY IS LOCATED AT 210 WADE DRIVE, RICHARD HARRIS SUBDIVISION NO.3 ADDITION, NASH STREET, IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 75087 BEING A REPLAT OF LOTS 1 & 2 BLOCK A, A RICHARD HARRIS SUBDIVISION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET B, SIDE 44, OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.
ZONING:	FRONT YARD SETBACK: 20'-0" SIDE YARD SETBACK: 6'-0" REAR YARD SETBACK: 8'-0"
LOT COVERAGE:	SITE SQUARE FOOTAGE: 9,411 S.F. ACTUAL COVERAGE: 2,907 S.F.

AREA CALCULATIONS:

AREAS:	
1ST FLOOR A/C SQ. FT.:	1,872 S.F.
2ND FLOOR A/C SQ. FT.:	546 S.F.
TOTAL HOUSE A/C SQ. FT.:	2,418 S.F.
COVERED PATIO SQ. FT.:	595 S.F.
TOTAL HOUSE SQ. FT.:	3,013 S.F.
DETACHED GARAGE SQ. FT.:	440 S.F.

SHEET INDEX:

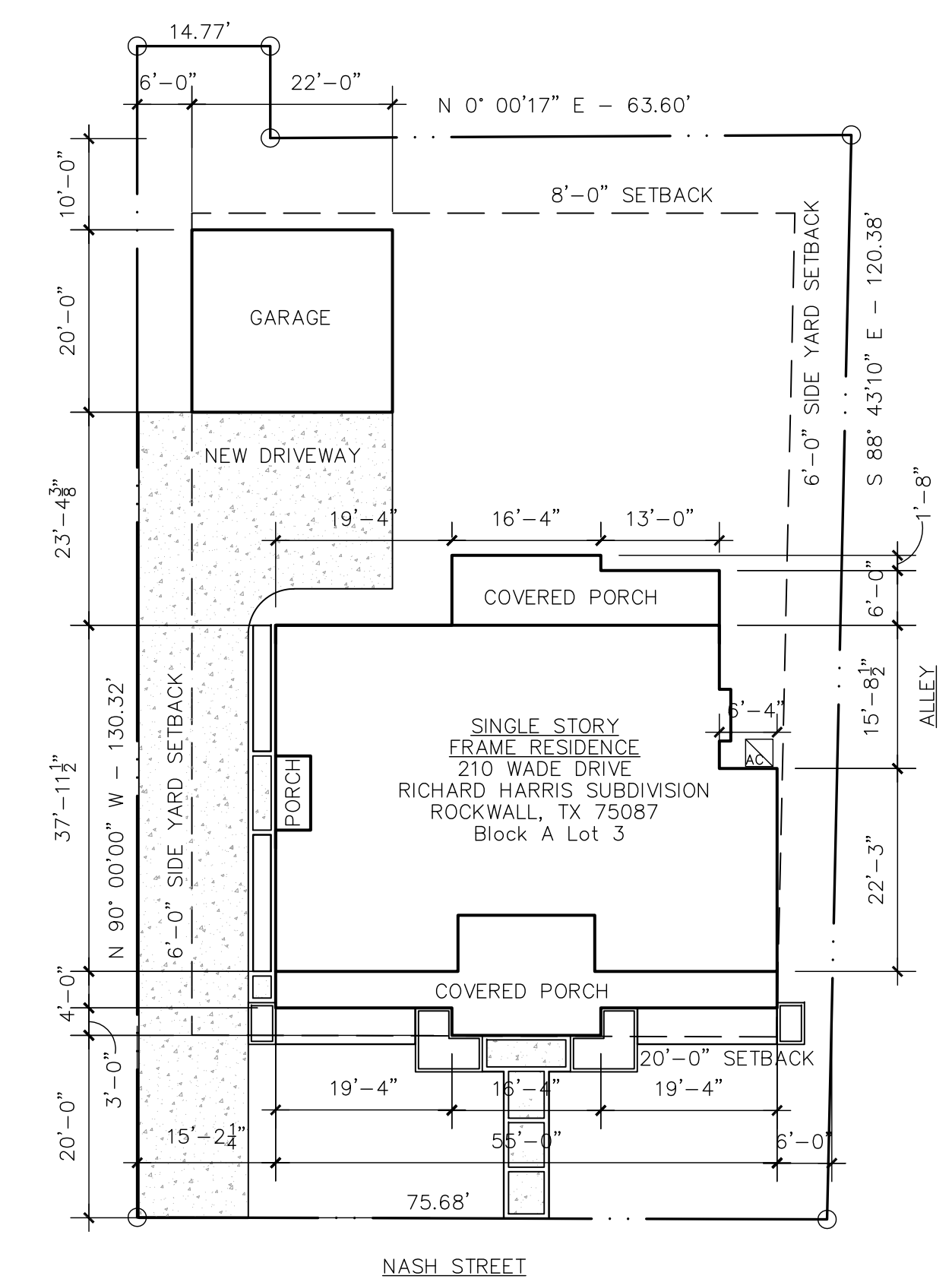
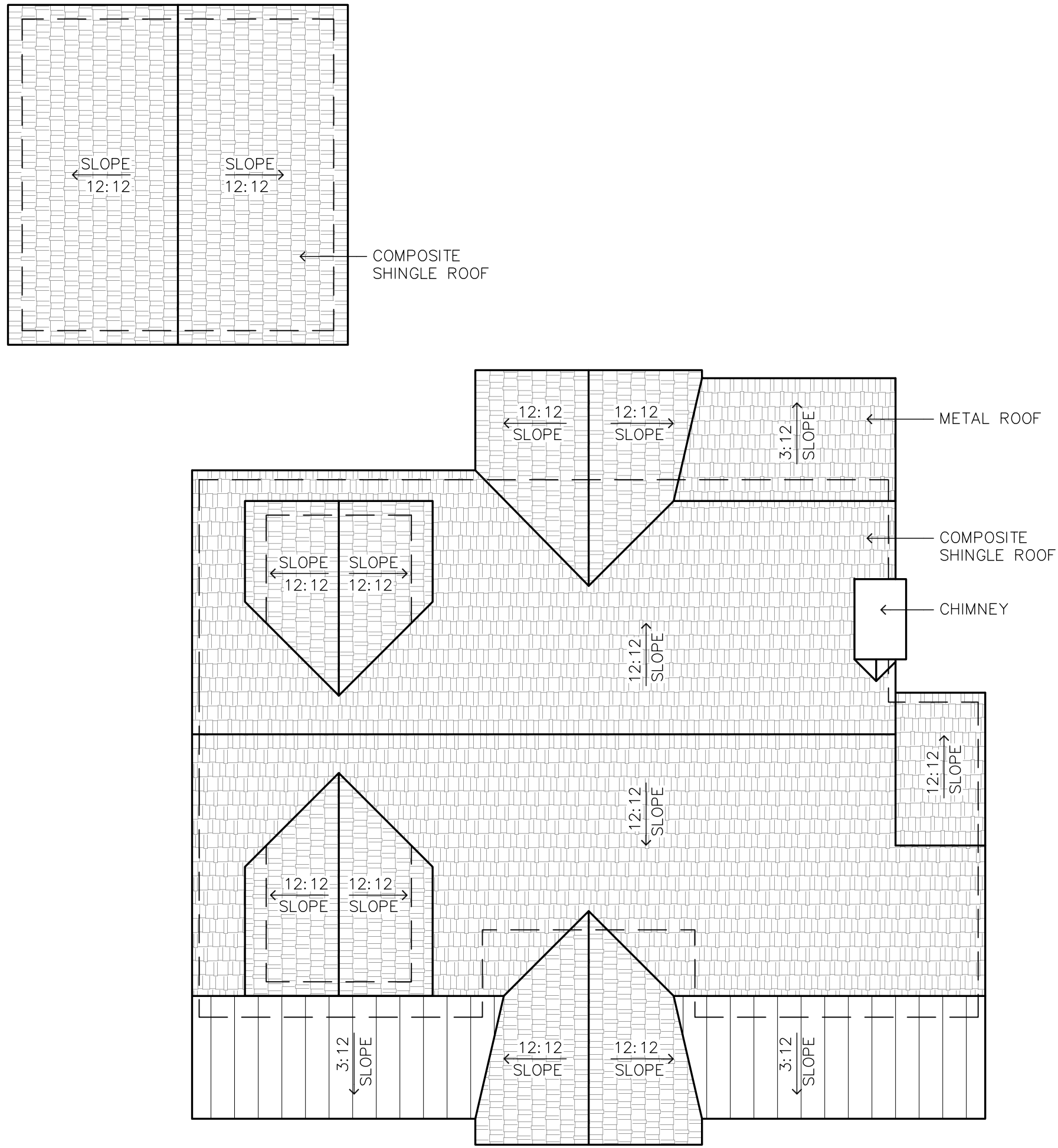
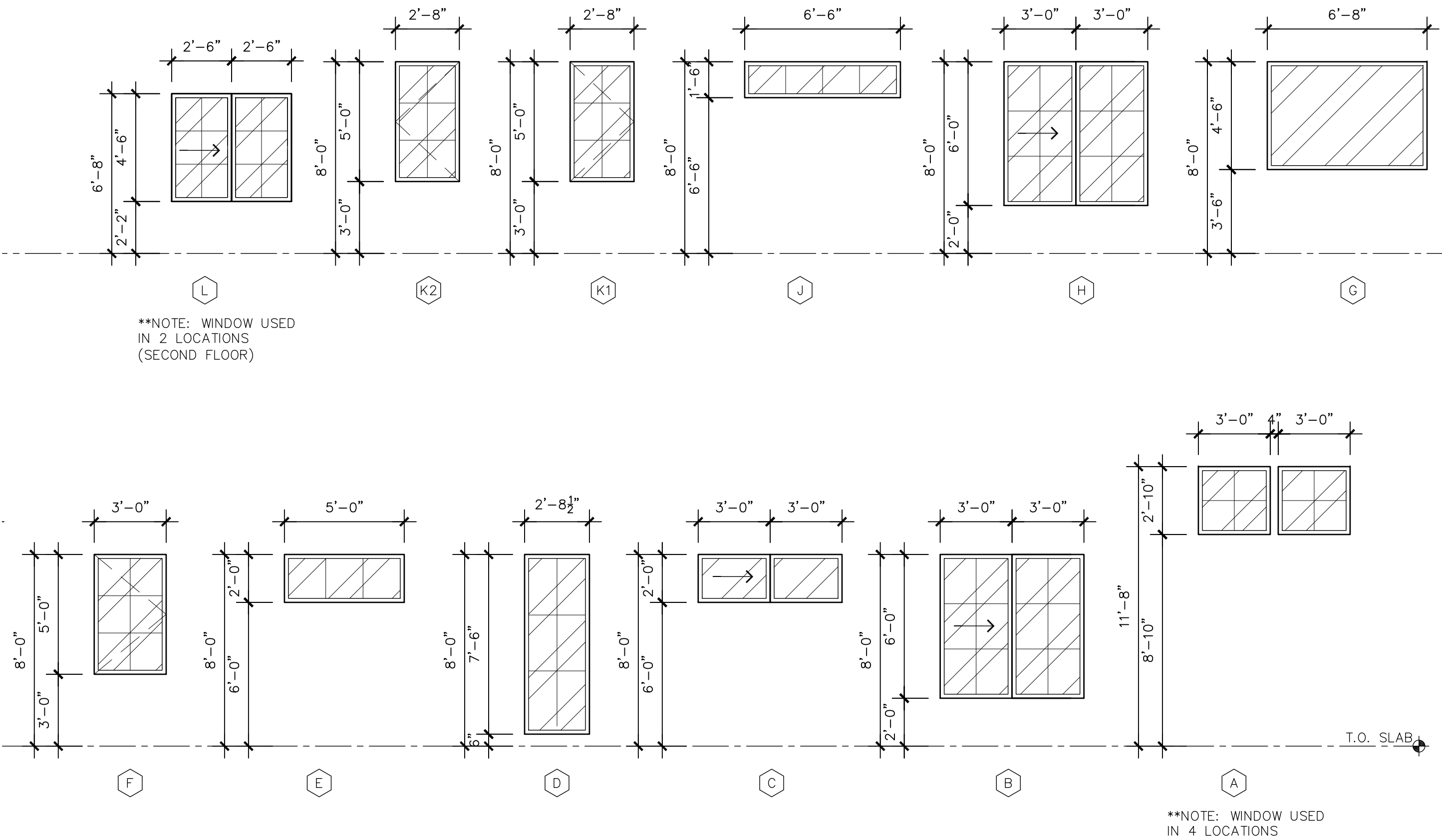
SHEET	CONTENTS
ARCHITECTURAL DRAWINGS	
A1.1	SITE PLAN / ROOF PLAN / GENERAL NOTES
A2.1	FLOOR PLANS
A3.1	REFLECTED CEILING PLAN & SCHEDULE
A4.1	EXTERIOR ELEVATIONS / WALL SECTION
A4.2	EXTERIOR ELEVATIONS / WALL SECTION
A4.3	BUILDING SECTION / WALL SECTION
A5.1	INTERIOR ELEVATIONS

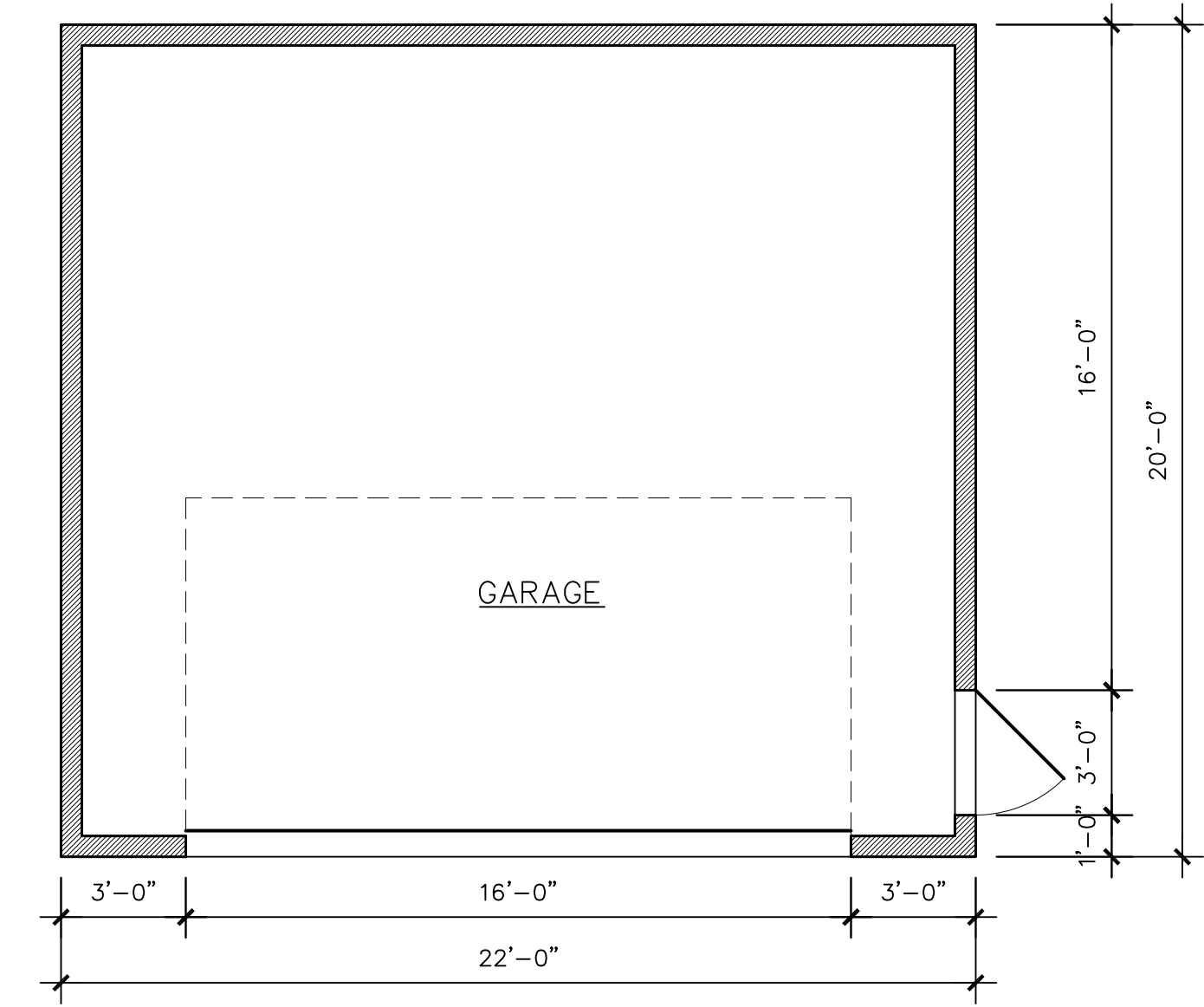
ENERGY SPECIFICATIONS:

1	ALL FRAMED ENVELOPE:
	2X4 WALLS: 3.5" OPEN CELL FOAM
	SLAB FLOOR SYSTEM
	8" DEEP CEILING SYSTEM: 6" OPEN CELL
2	WINDOWS AND DOORS:
	LOW E GLAZING- UF# .30 SHGV# .20
3	HVAC : 16 SEER
4	GAS FURNACE
5	TANKLESS WATER HEATER: GAS

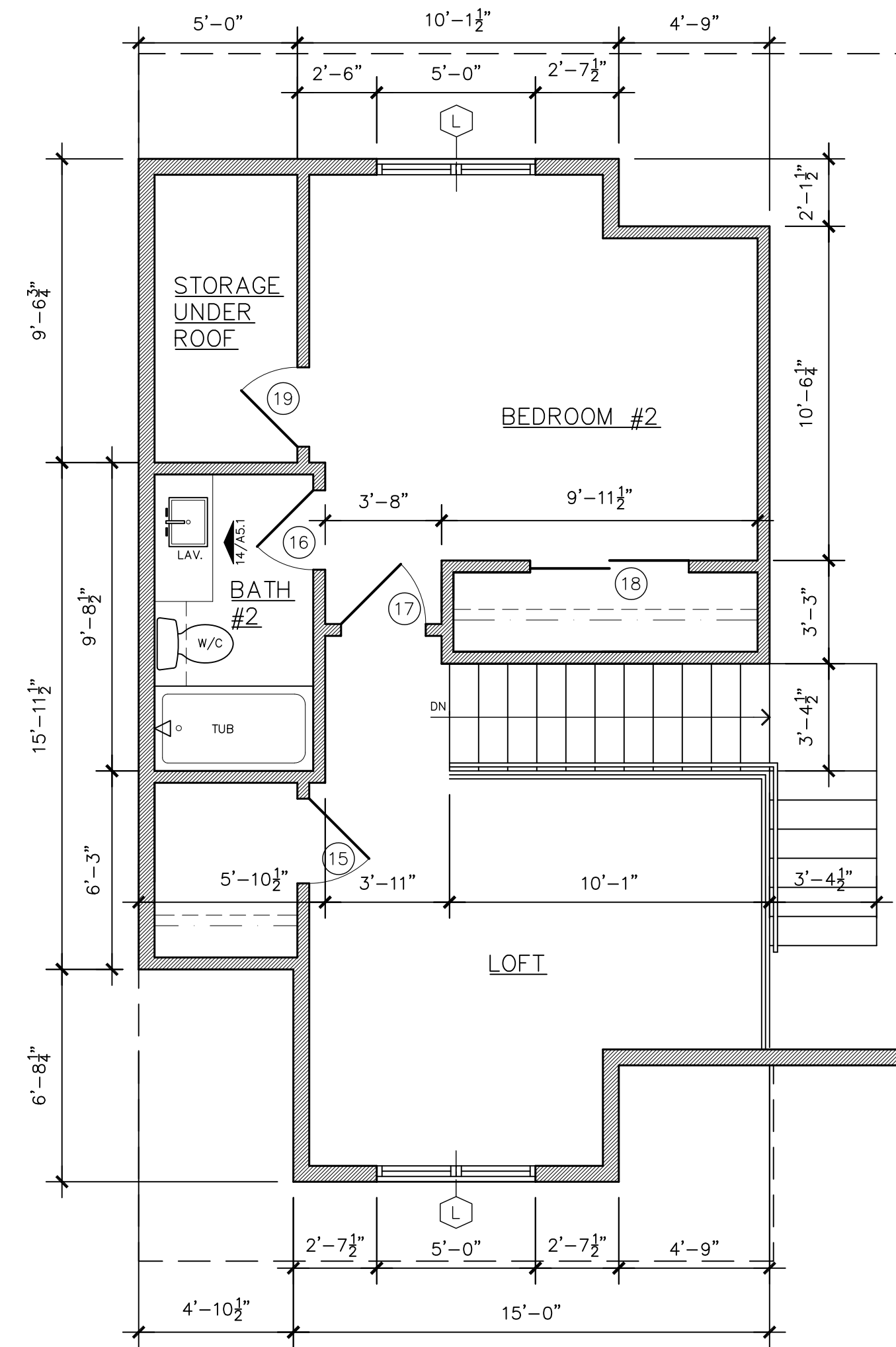
DOOR SCHEDULE

NO.	NAME	SIZE	TYPE	HARDWARE	REMARKS
1	FOYER	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
2	HALL	3'-0" x 8'-0" x 1 3/4"	B	LOCKSET	
3	DINING	(2) 3'-0" x 8'-0" x 1 3/4"	A	LOCKSET	
4	MASTER BEDROOM	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	
5	MASTER CLOSET	(2) 3'-0" x 8'-0" x 1 3/4"	D	-	
6	MASTER BATH	2'-8" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
7	MASTER SHOWER	2'-6" x 8'-0" x 1/2"	E	-	
8	MASTER CLOSET	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
9	LAUNDRY	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
10	CRAFT ROOM	3'-0" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
11	POWDER	2'-4" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
12	STORAGE	2'-6" x 8'-0" x 1 3/4"	C	PASSAGE	POCKET
13	BEDROOM #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
14	BATH #1	3'-0" x 8'-0" x 1 3/4"	C	PRIVACY	POCKET
SECOND FLOOR					
15	LOFT CLOSET	2'-8" x 6'-8" x 1 3/4"	C	PASSAGE	
16	BATH #2	2'-6" x 6'-8" x 1 3/4"	C	PRIVACY	
17	BEDROOM #2	2'-8" x 6'-8" x 1 3/4"	C	PRIVACY	
18	BEDROOM #2 CLOSET	(2) 3'-0" x 6'-8" x 1 3/4"	D	-	
DOOR TYPES					
A CUSTOM FRONT DOOR- REFER. WINDOW & DOOR ELEVATIONS (2/A1.2)					
B EXTERIOR SWING DOOR					
C SOLID CORE INTERIOR DOOR					
D INTERIOR SLIDING DOOR					
E GLASS SWING DOOR					

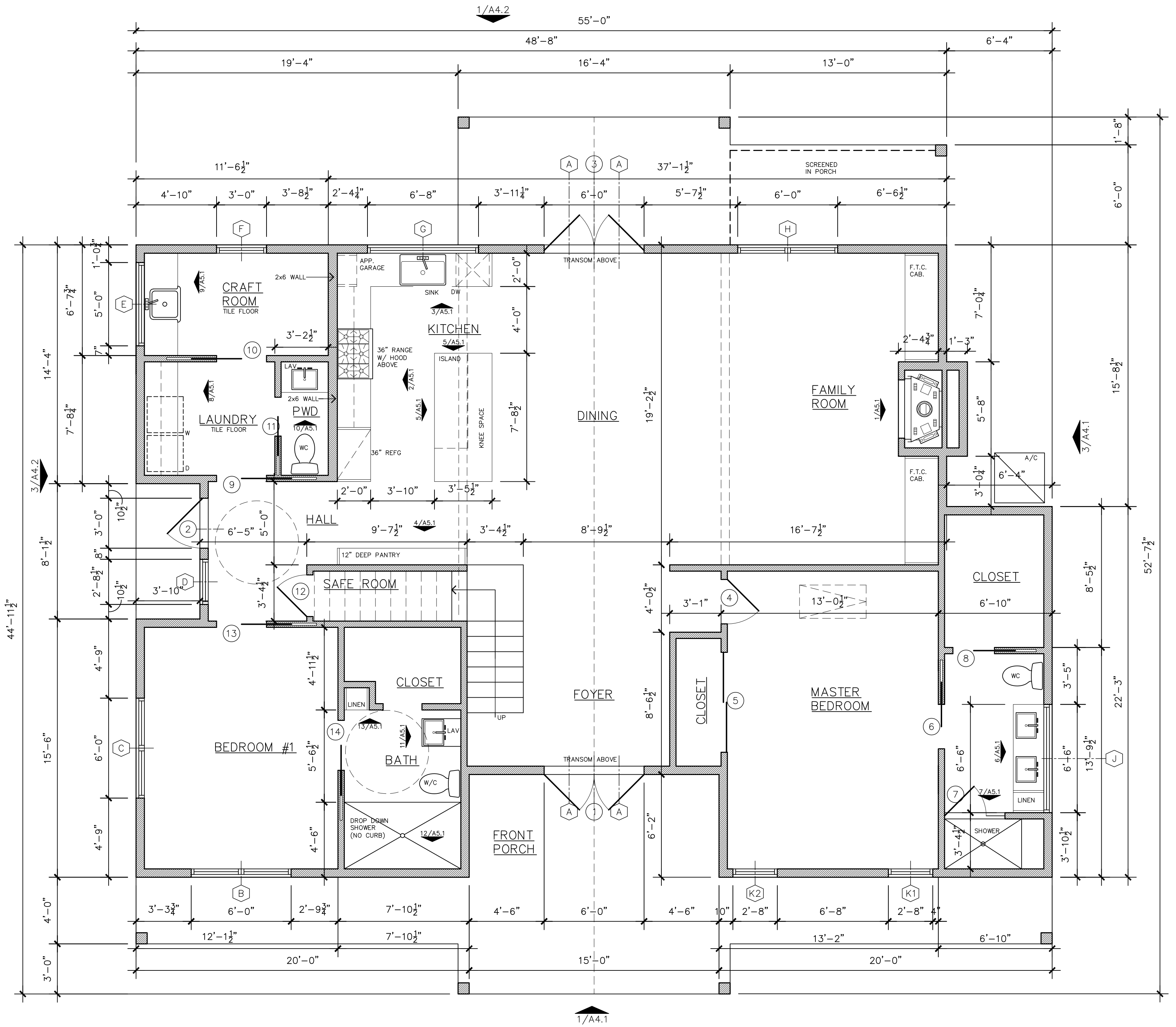




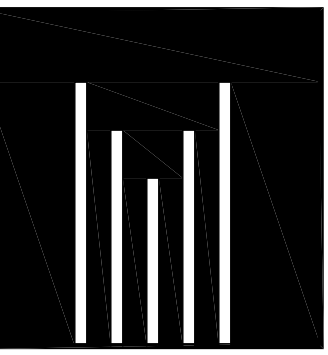
3 GARAGE
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



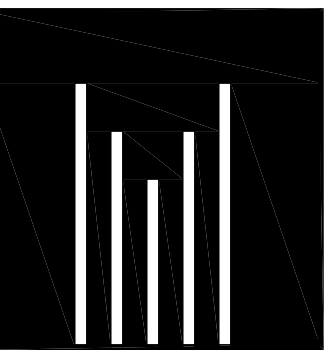
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24, JUNE 2020

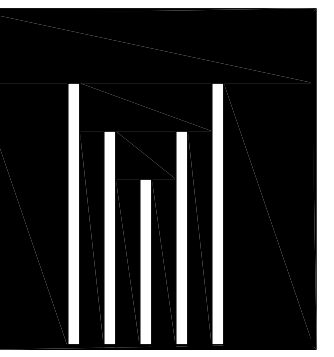
REVISION:






















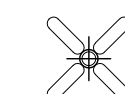
: DRAWINGS PREPARED BY :
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliom - 214.477.7443

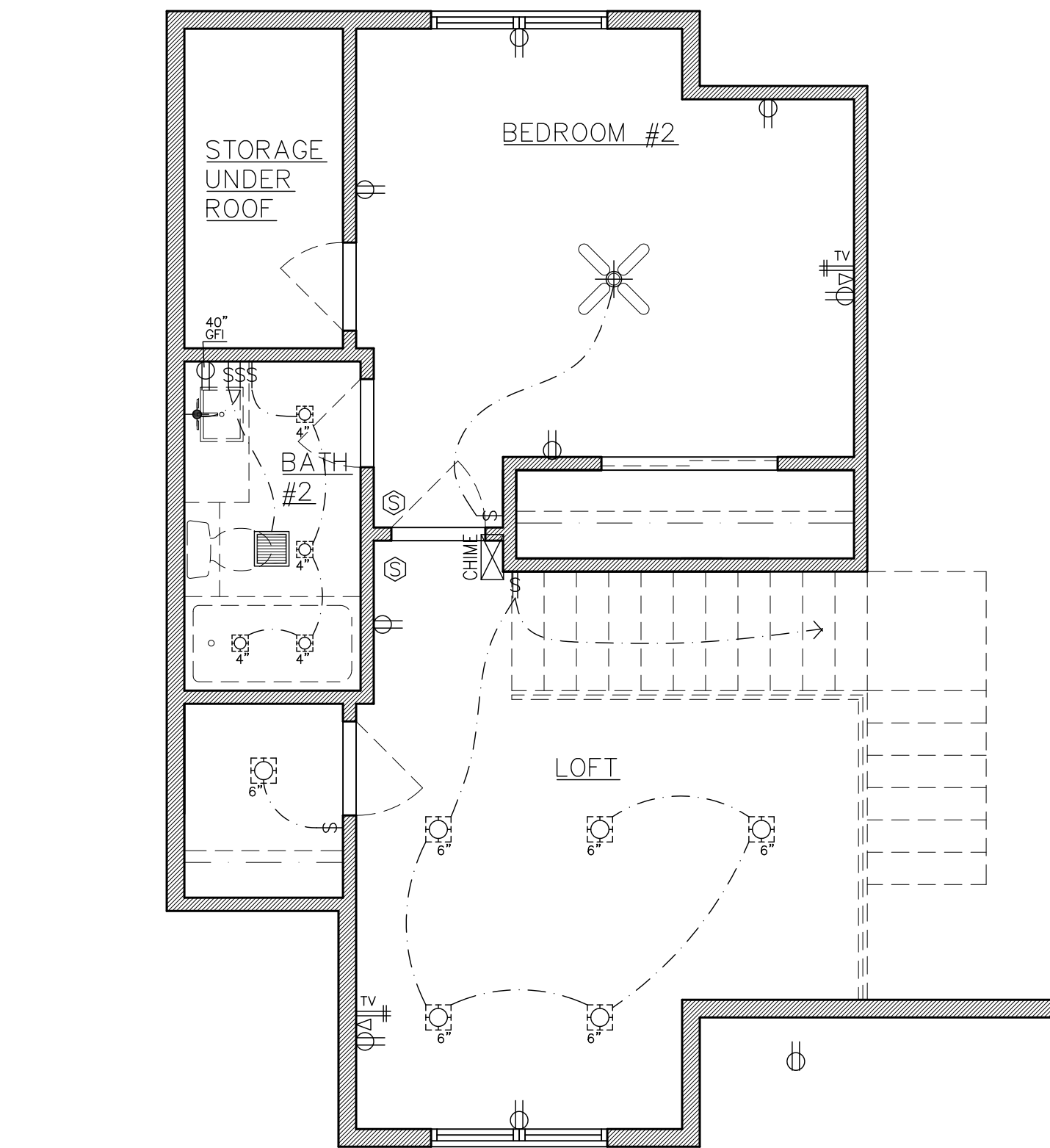
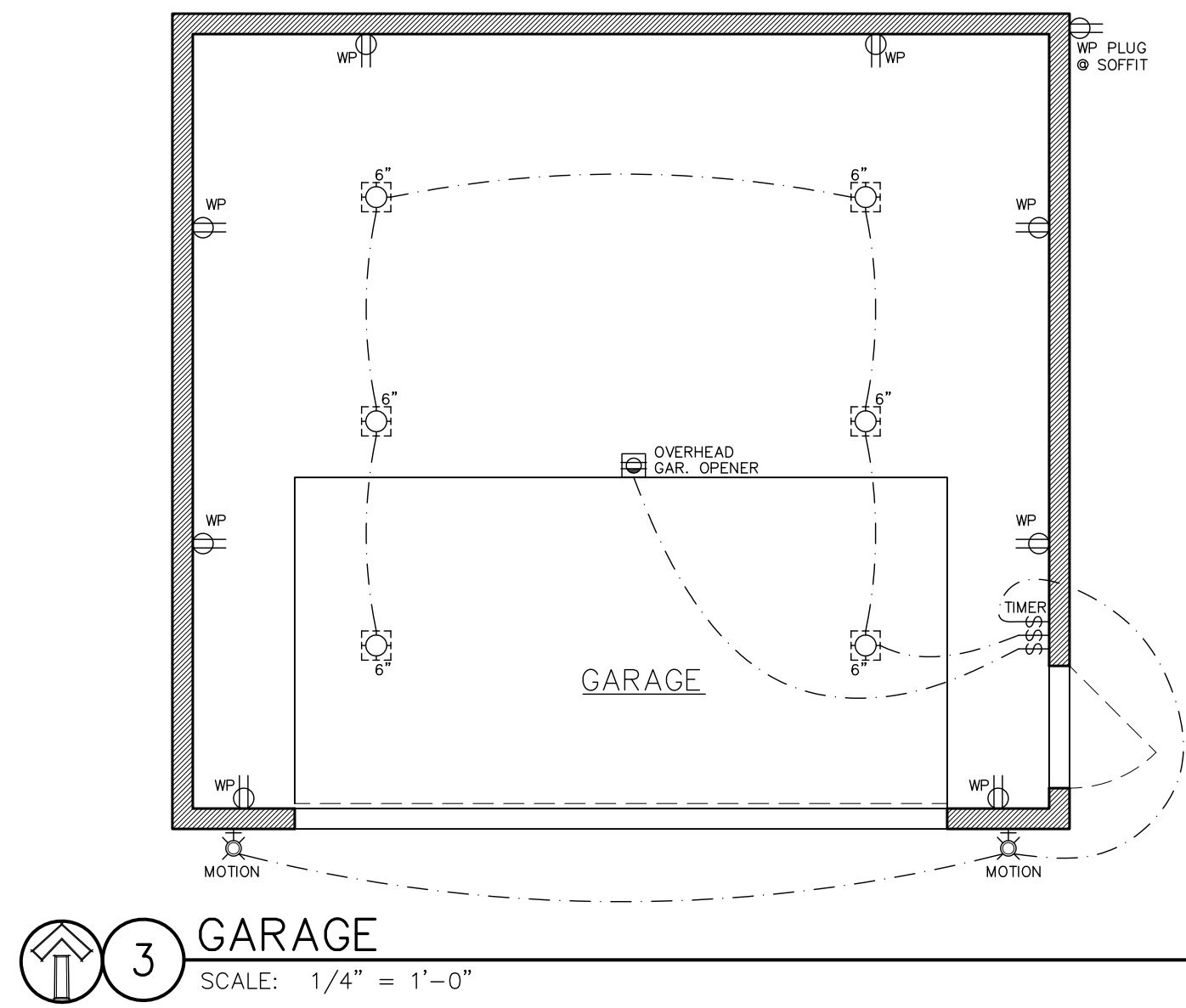
: BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT :
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT3


A2.1

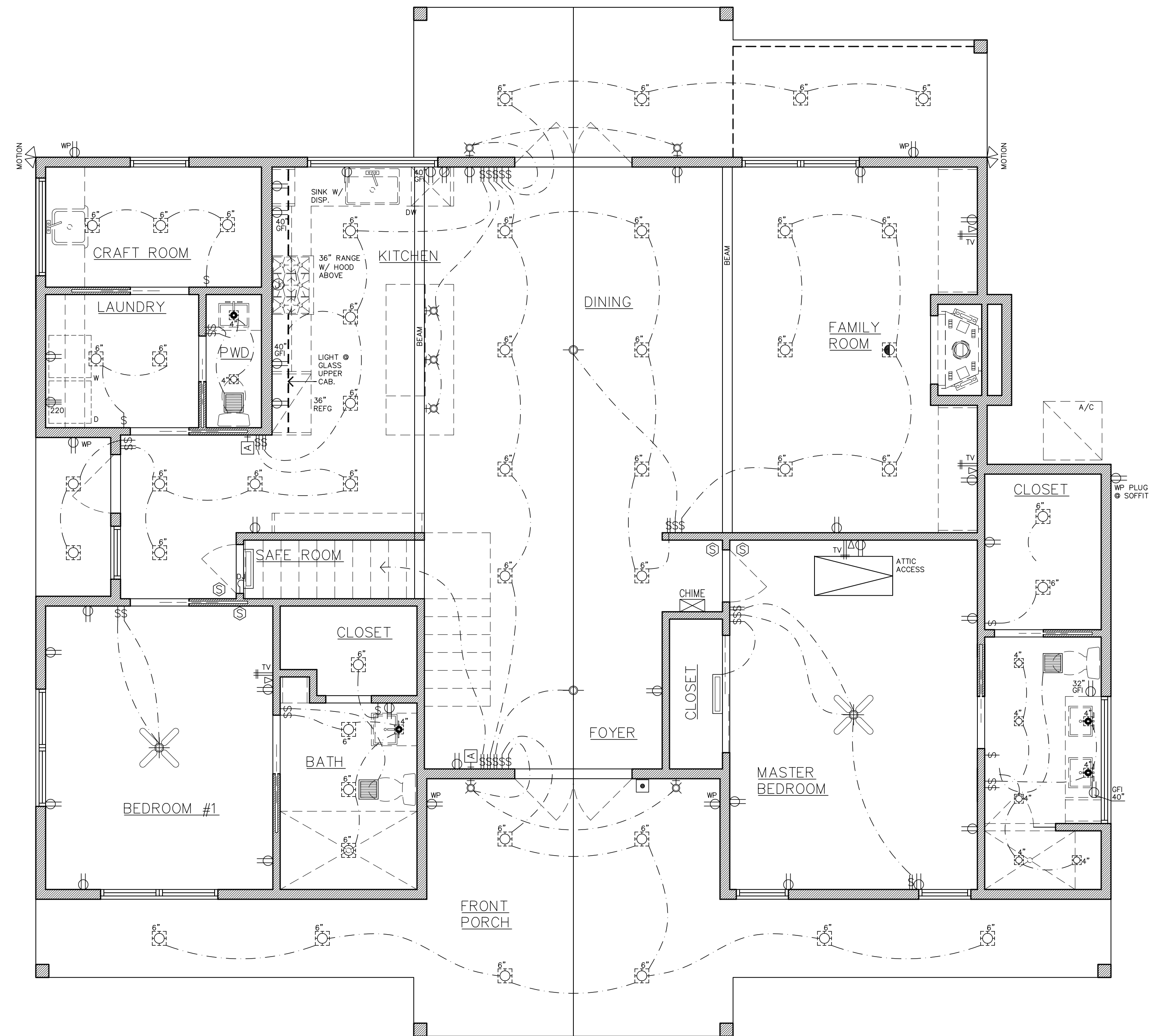




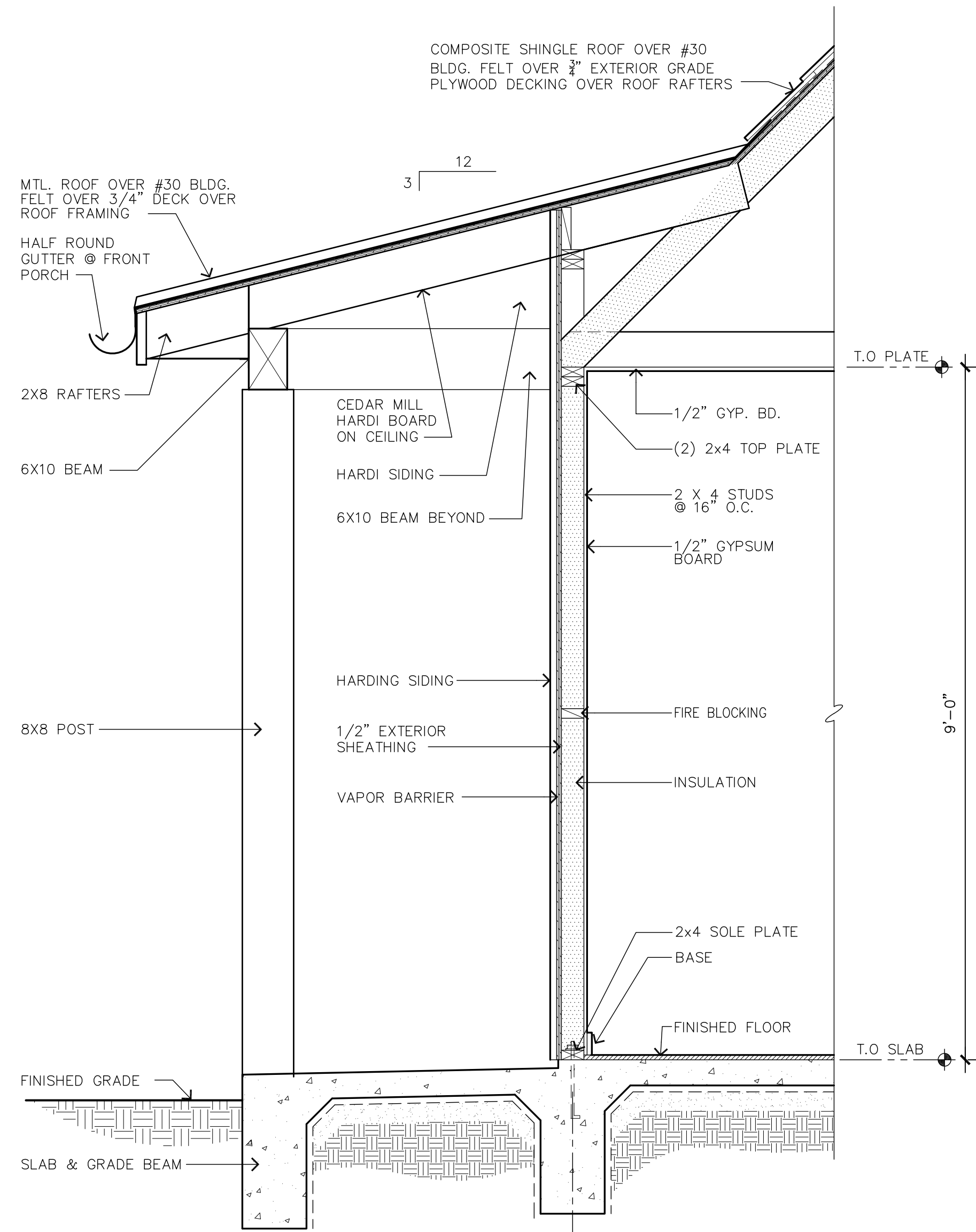
	DUPLEX @ 12" A.F.F., OTHERS NOTED. WP – WATERPROOF HOUSING HZL – HORIZONTAL FACEPLATE GFI – GROUND FAULT		
 220	220V OUTLET		JUNCTION BOX
	4" RECESSED INCANDESCENT FIXTURE W/ 2" SPOT APERTURE		6" RECESSED INCANDESCENT FIXTURE
	4" RECESSED INCANDESCENT FIXTURE W/ SLOTTED APERTURE		4" RECESSED INCANDESCENT FIXTURE
 	SINGLE POLE SWITCH (ROCKER) – VERIFY COLOR D – DIMMERS DJ – DOOR JAMB SWITCH M – MOTION SENSOR 3-WAY SWITCH		
	T.V. CABLE G6 WIRE		ALARM KEYPAD
	SMOKE DETECTOR W/110V. JUNCTION BOX		DOOR BELL CHIME
	DOOR BELL		CEILING EXHAUST FAN
	CEILING MOUNTED FIXTURE TO BE SELECTED		WALL MOUNTED SCENCE TO BE SELECTED
	DECORATIVE PENDANT– TO BE SELECTED		EXTERIOR FLOOD LIGHT ON MOTION DETECTOR / PHOTO CELL
	CEILING MOUNTED FLUORESCENT FIXTURE		
	1 LAMP FLUORESCENT, W/ LENS COVER AT CLOSEST		
	CEILING FAN		
NOTE: SOME SYMBOLS MAY NOT BE USED.			



 **2** SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



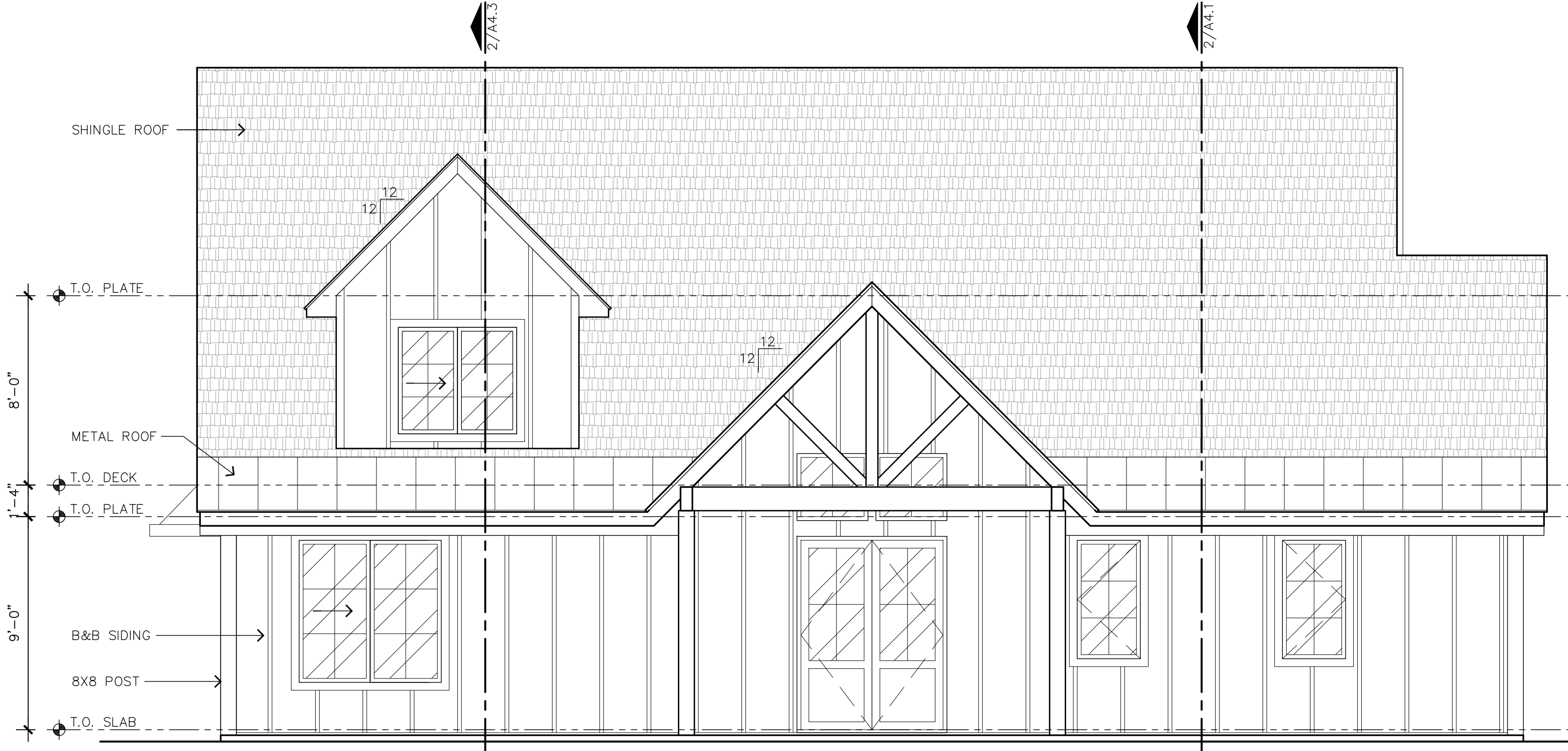
 **1** FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



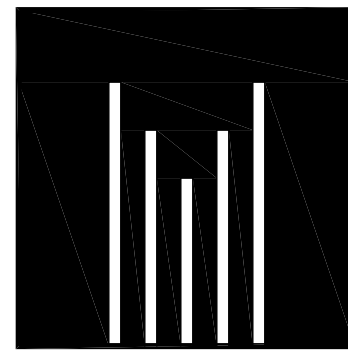
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



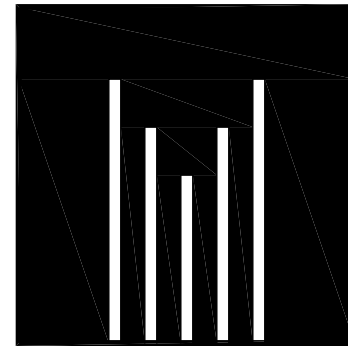
ISSUED DATE:
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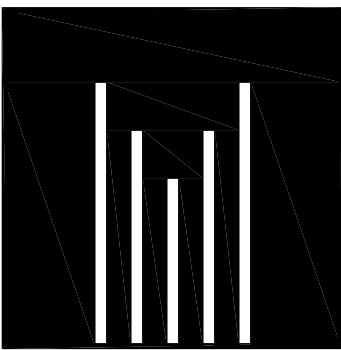
REVISION:

DRAWINGS PREPARED BY :
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliom - 214.477.7443

BEING ARCHITECTURAL DRAWINGS FOR A NEW RENOVATION AT :
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT3

A4.1





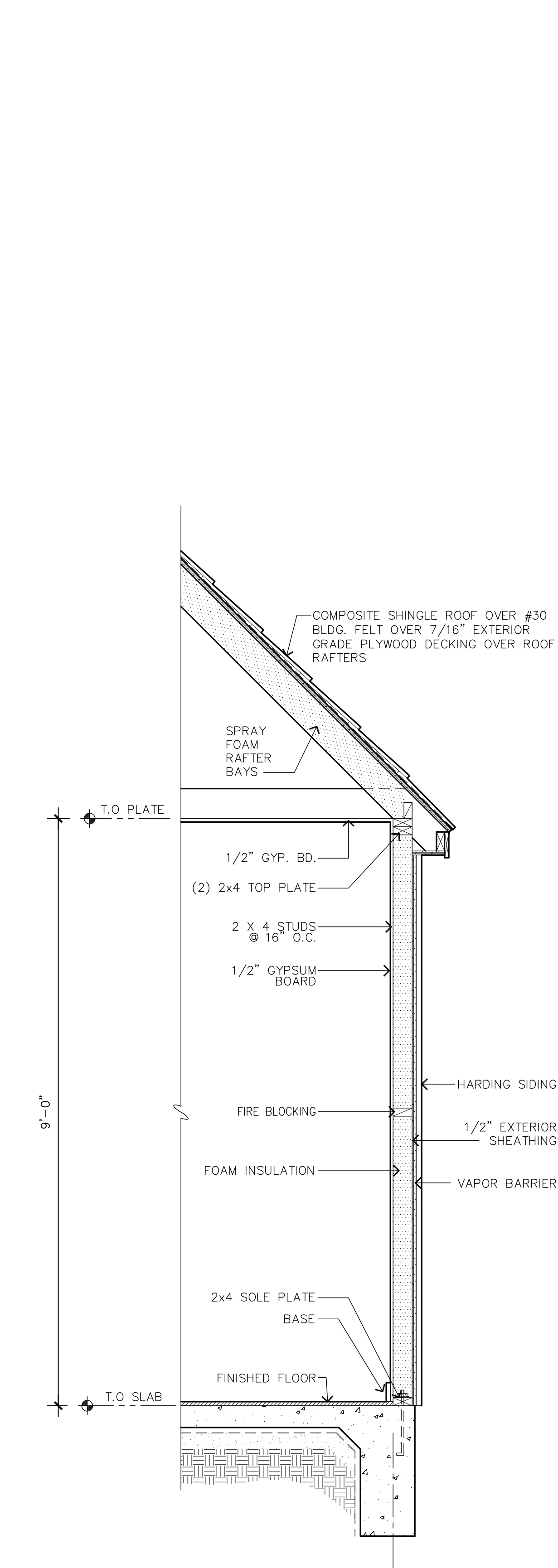
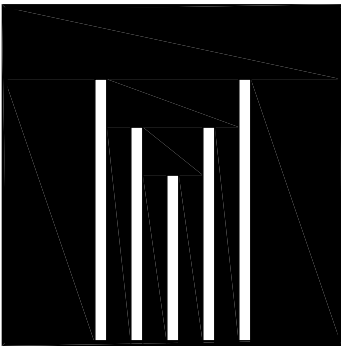
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REVISION:

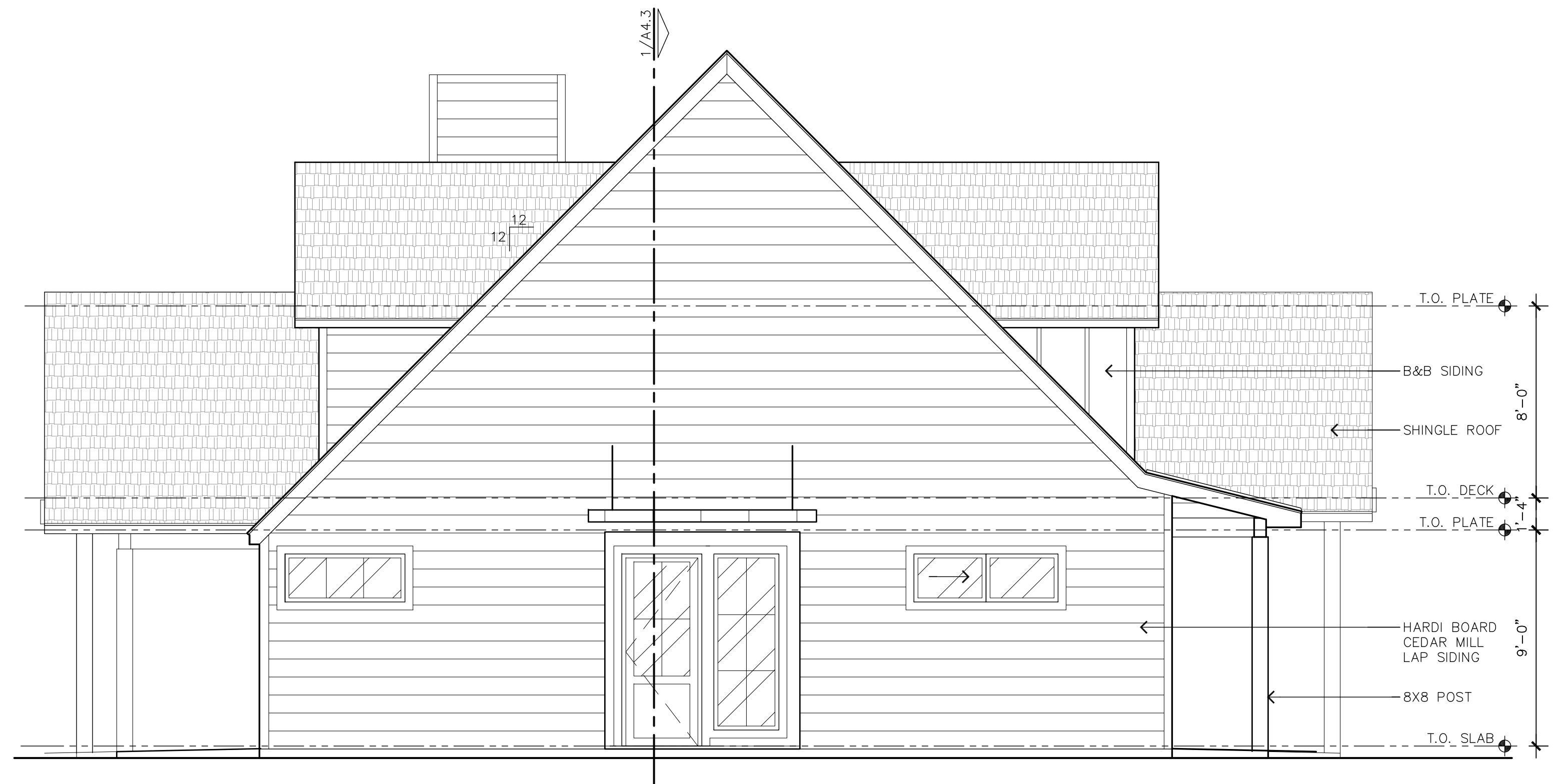
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliom - 214.477.7443

WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT 3

A4.2



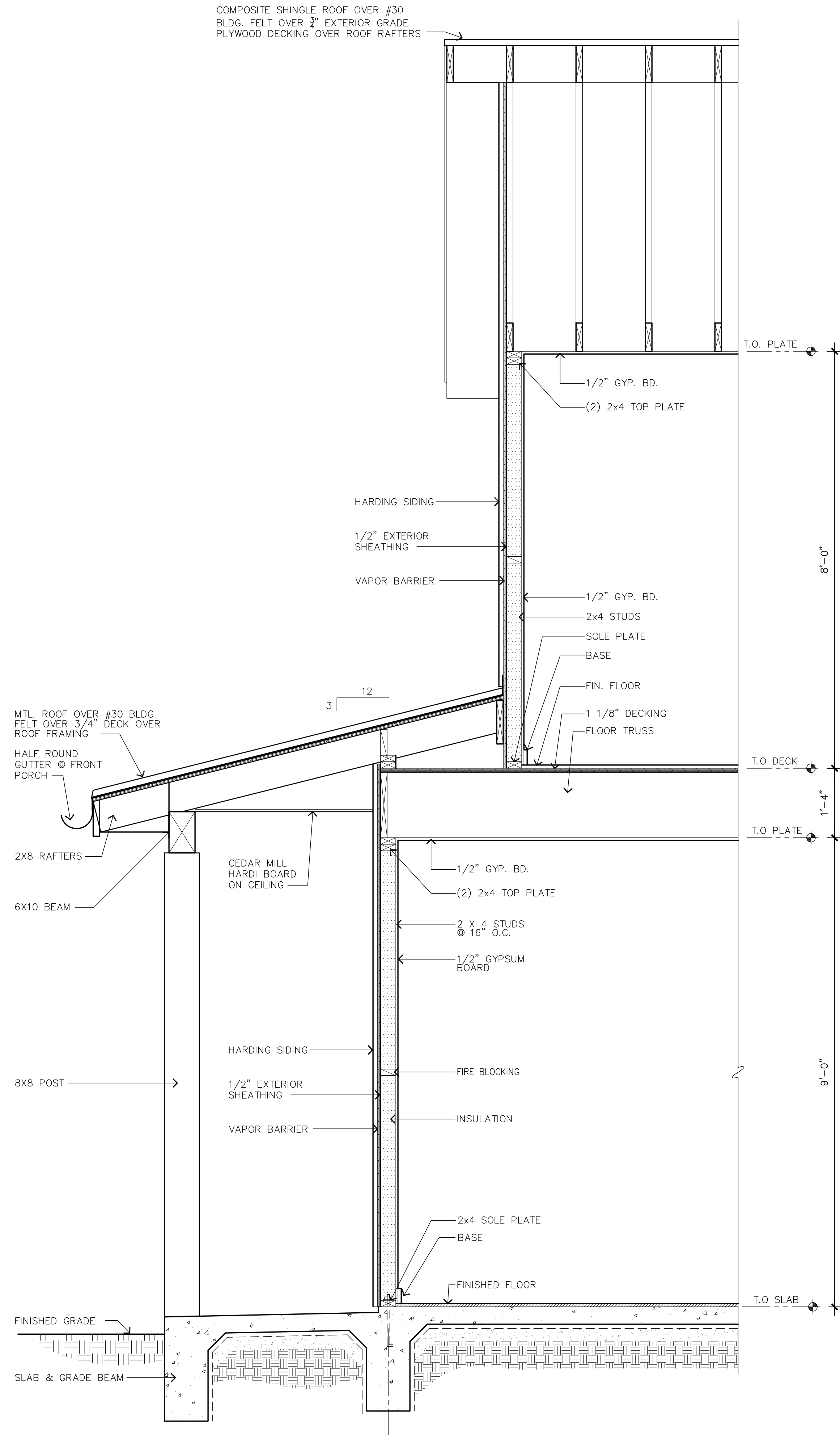
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



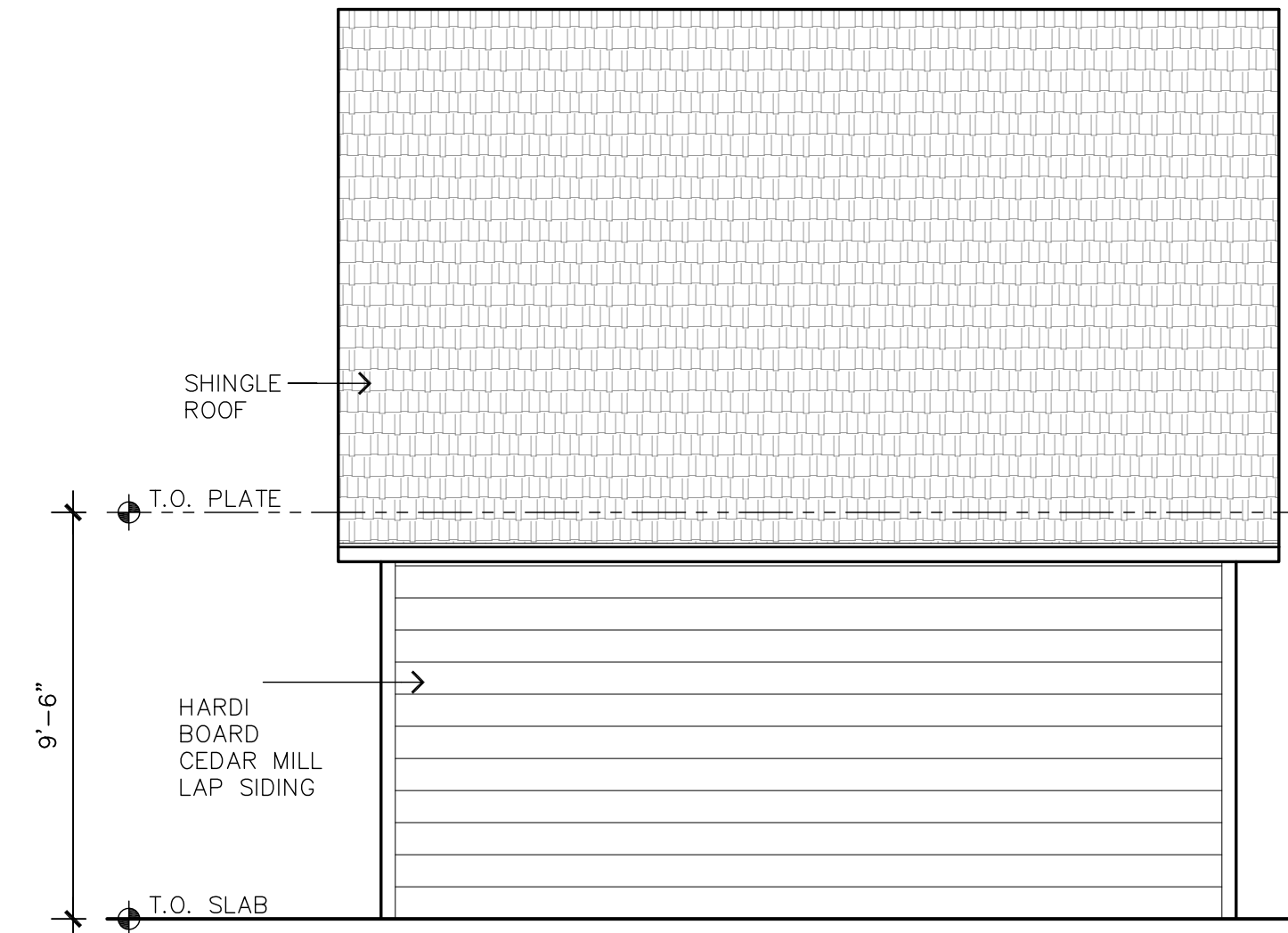
3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



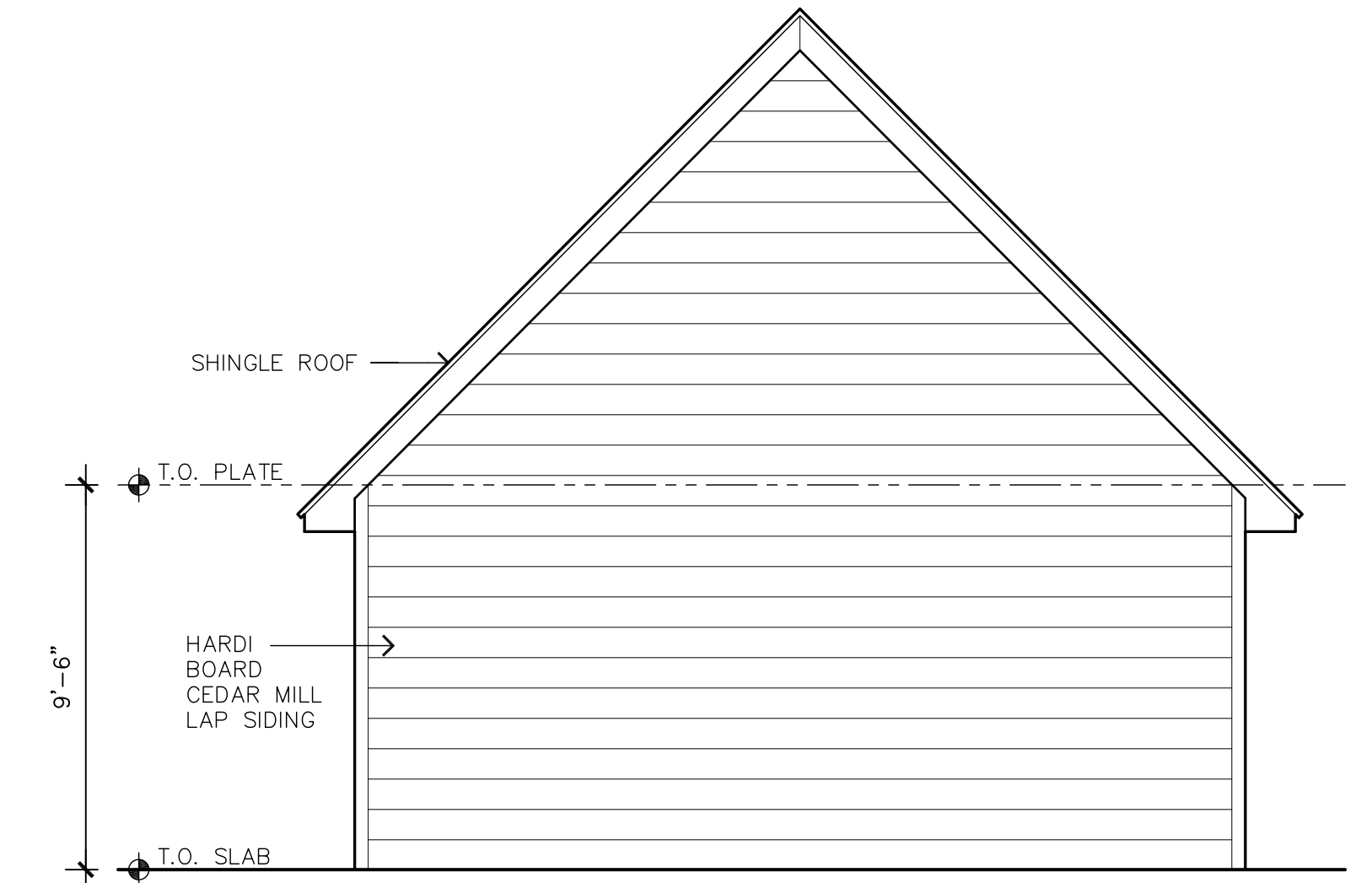
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



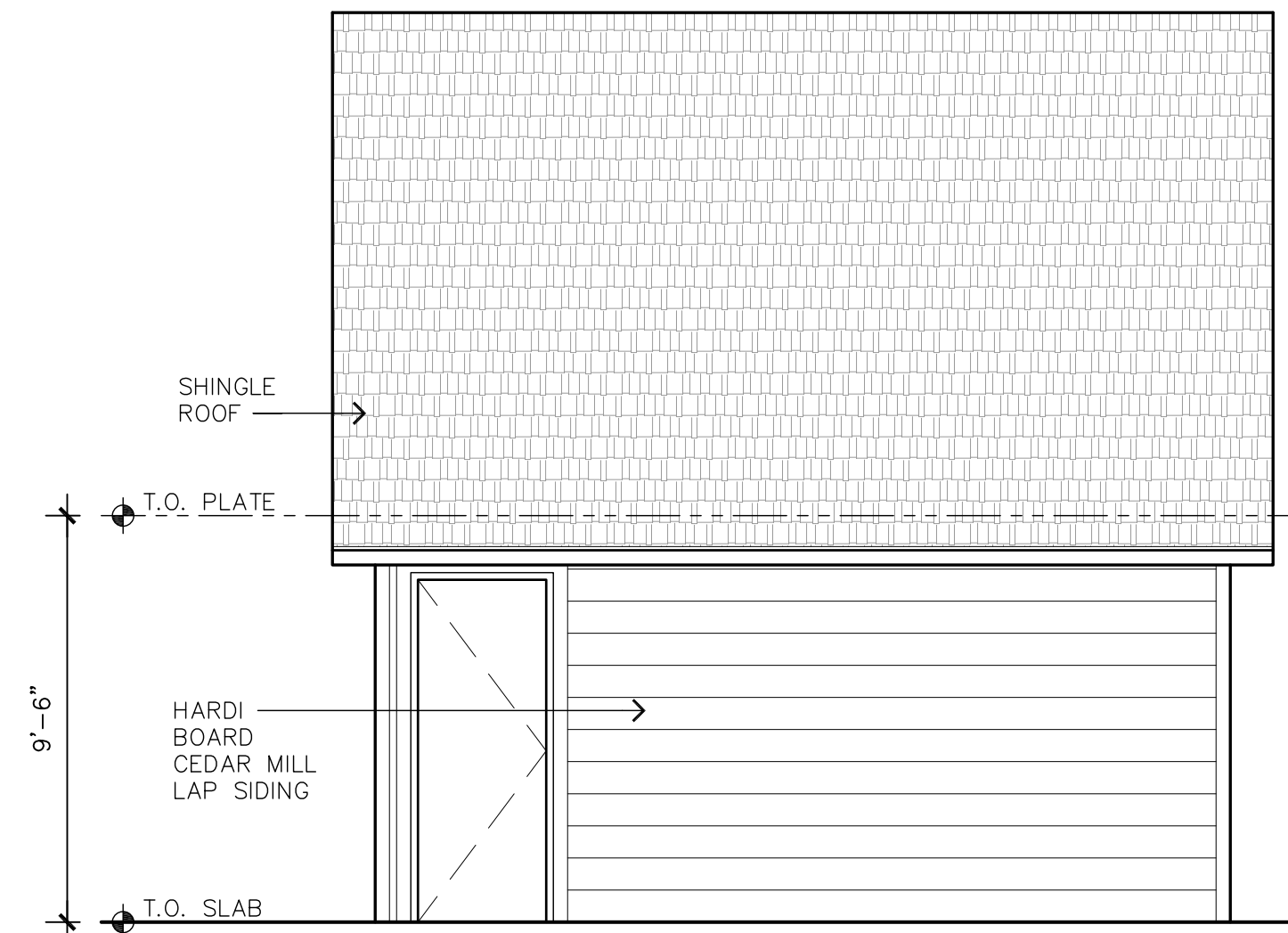
2 MASTER BEDROOM WALL SECTION
SCALE: 3/4" = 1'-0"



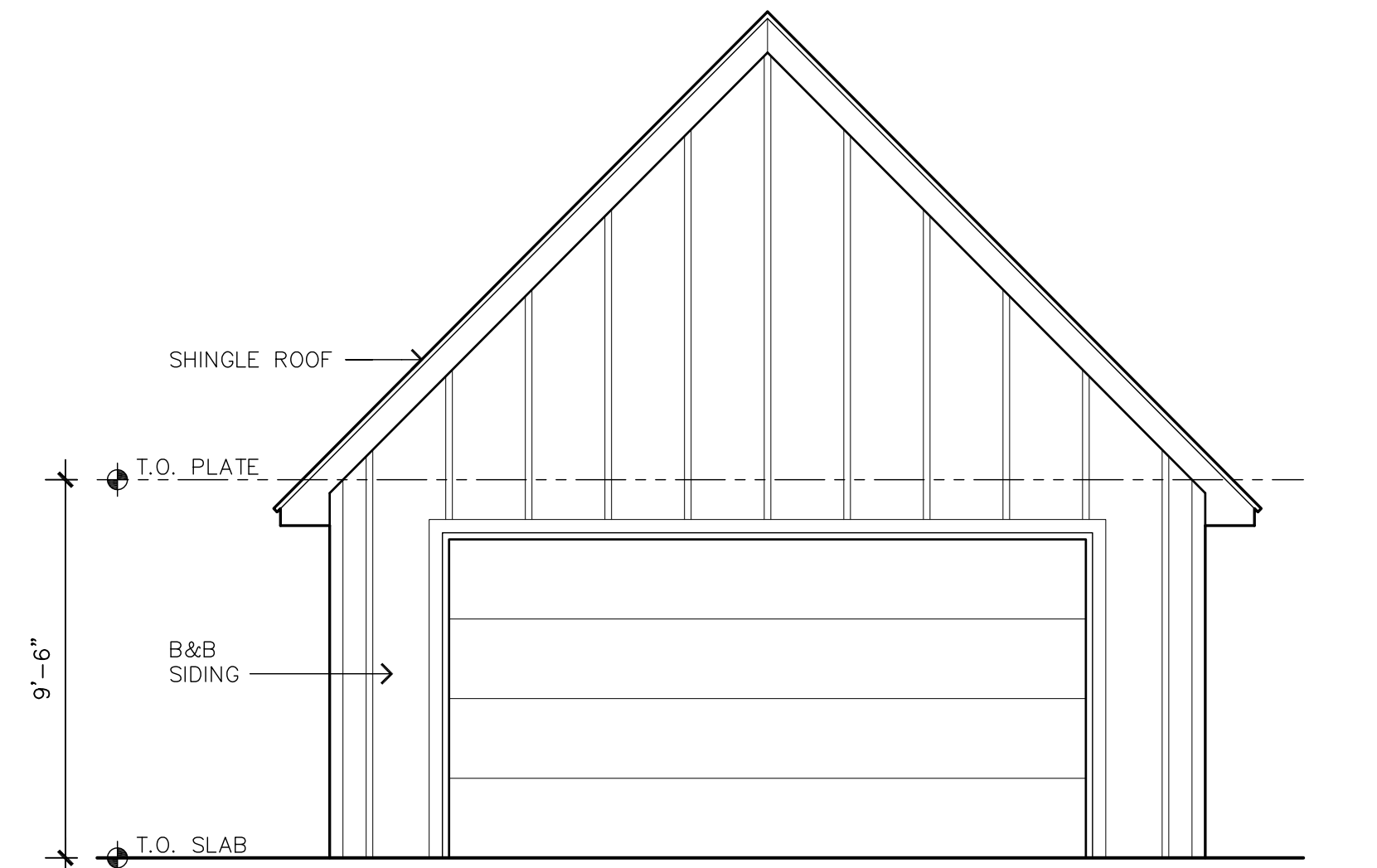
6 GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 GARAGE EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST BUILDING SECTION / ELEVATION
SCALE: 1/4" = 1'-0"

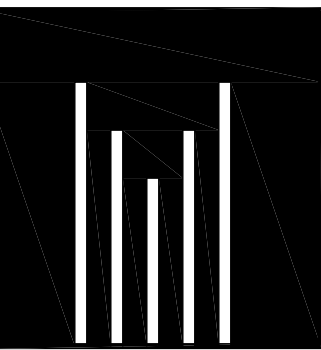
ISSUED DATE:
24, JUNE 2020

REVISION:

Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliom - 214.477.7443

WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT3

A4.3



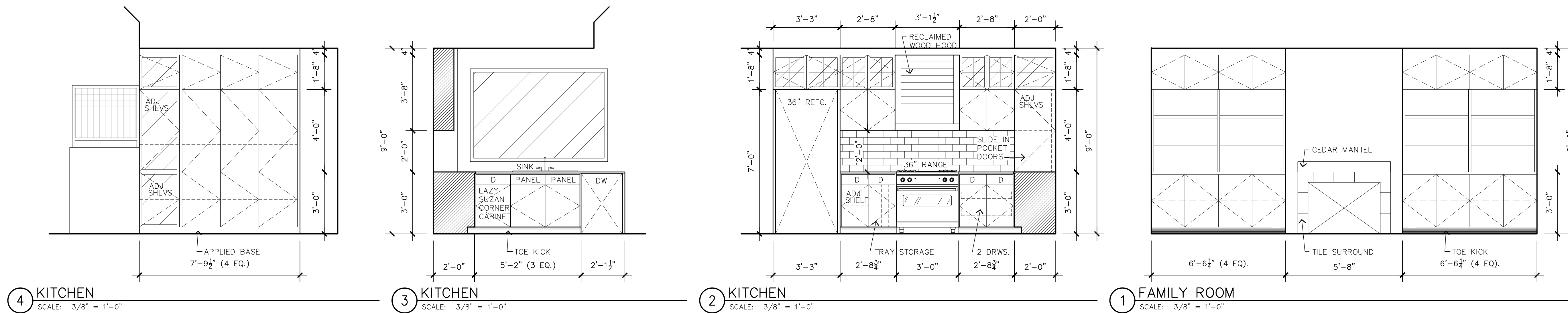
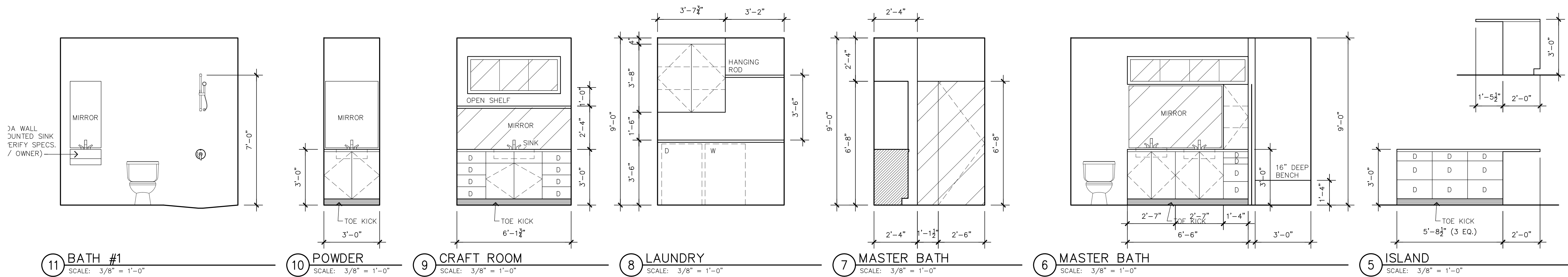
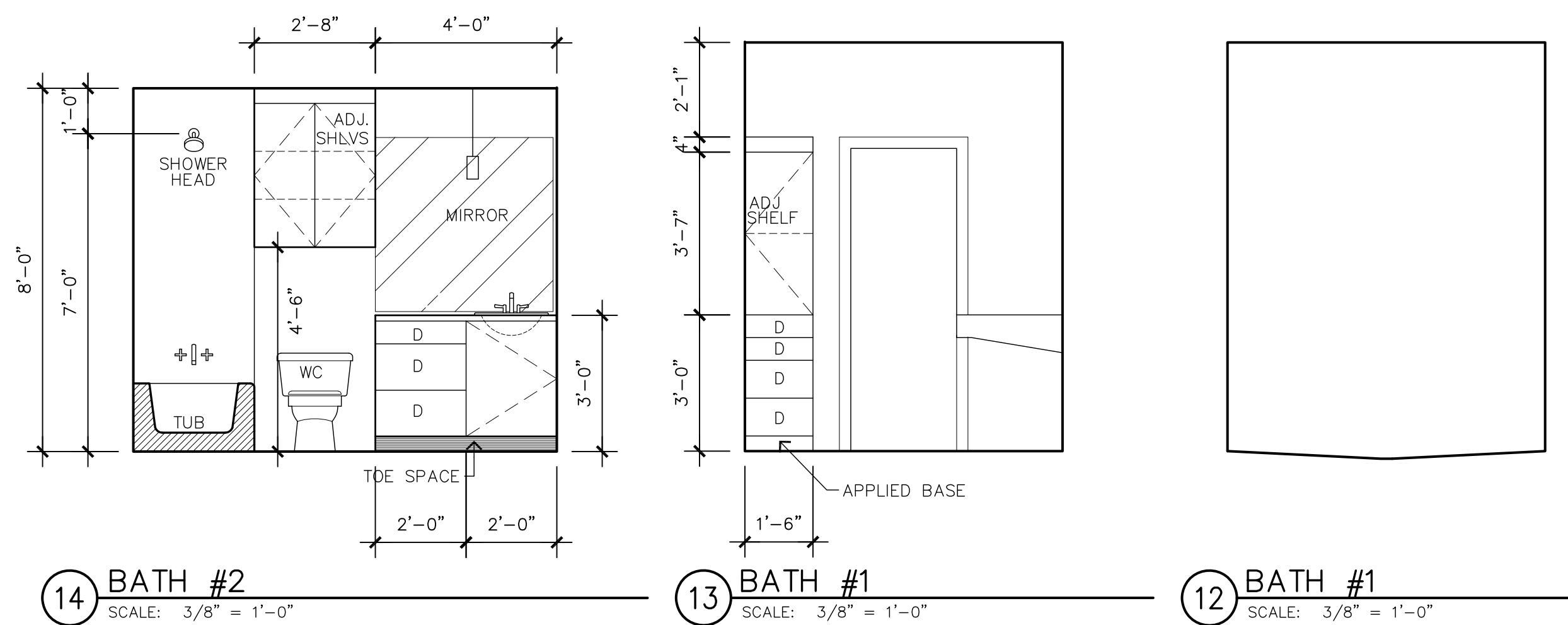
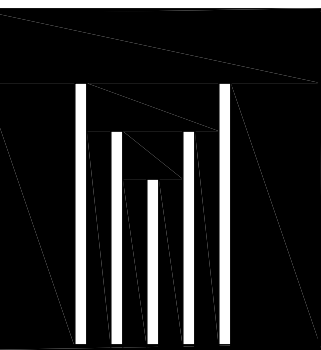
ISSUED DATE:
24, JUNE 2020

REVISION:

Drawings Prepared By :
Modern Craft Construction, LLC
2102 FM 1141, Rockwall, Texas 75087
Wiley Gilliom - 214.477.7443

Being Architectural Drawings for a New Renovation At :
WELLS RESIDENCE
210 WADE DRIVE, ROCKWALL, TX 75087
RICHARD HARRIS SUBDIVISION, BLOCK A LOT 3

A5.1



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.216-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK A, RICHARD HARRIS #3 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Patrick Wells for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home on a 0.216-acre parcel of land identified as Lot 3, Block A, Richard Harris #3 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 210 Wade Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map and Survey

Address: 210 Wade Drive

Legal Description: Lot 3, Block A, Richard Harris #3 Addition



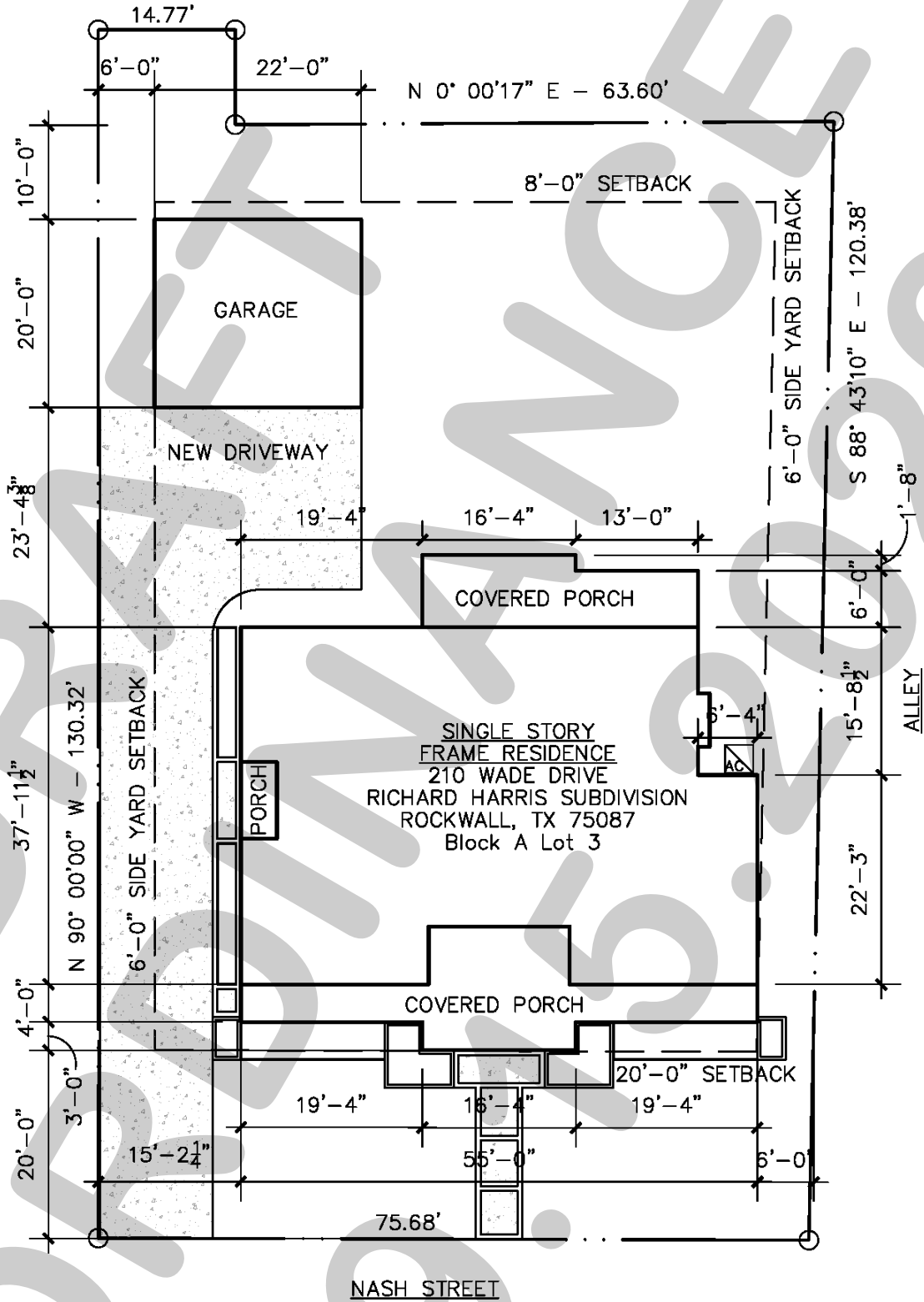
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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Exhibit 'B':
Residential Plot Plan



NORTH



1

SITE PLAN

SCALE: 1/16" = 1'-0"

Exhibit 'C':
Building Elevations

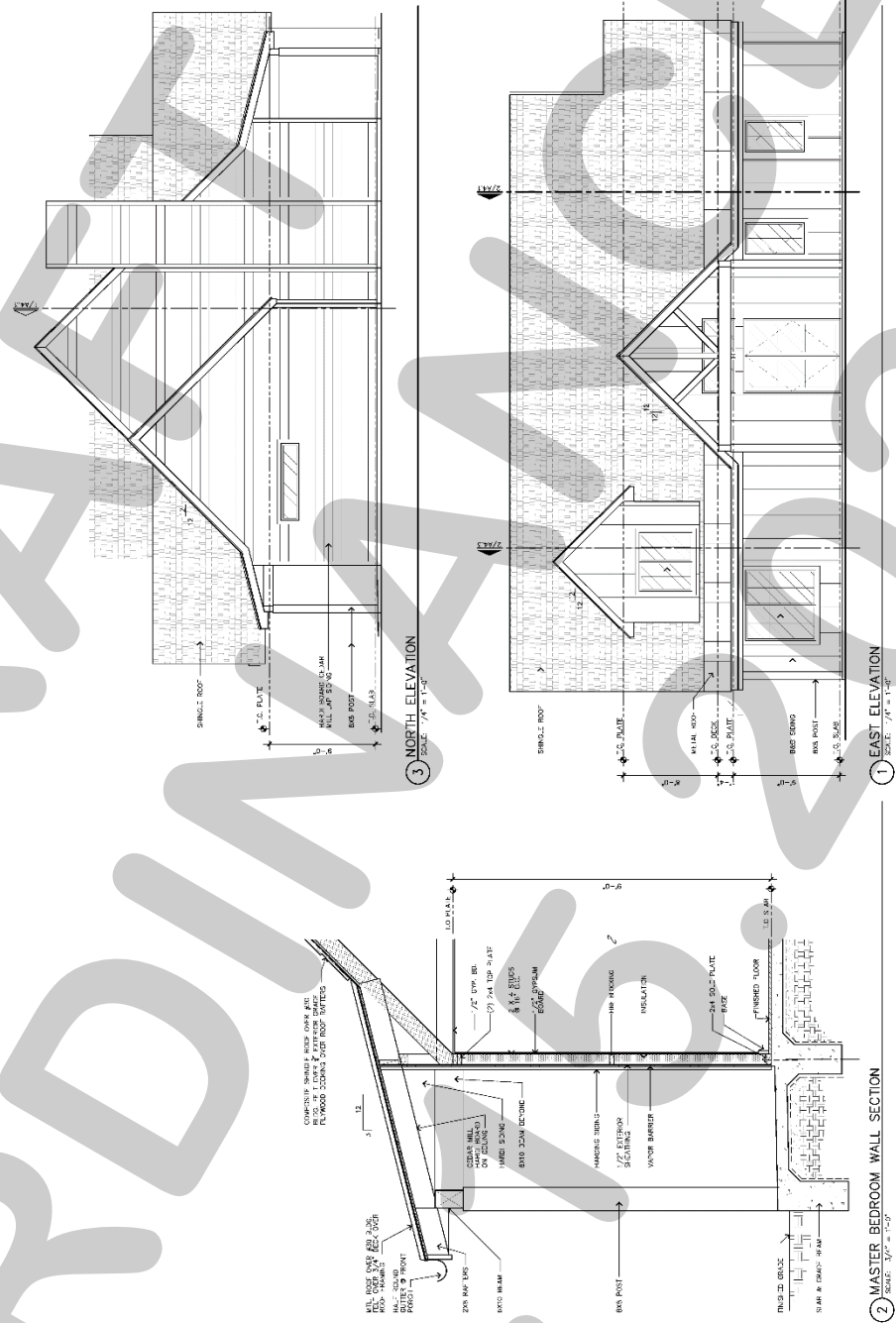
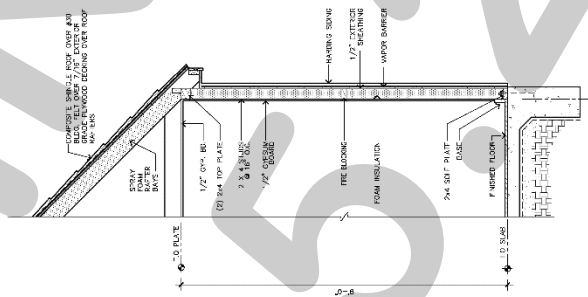
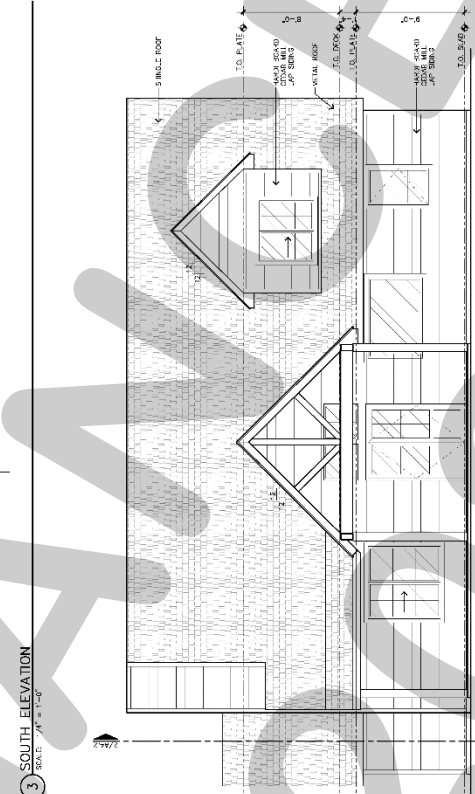
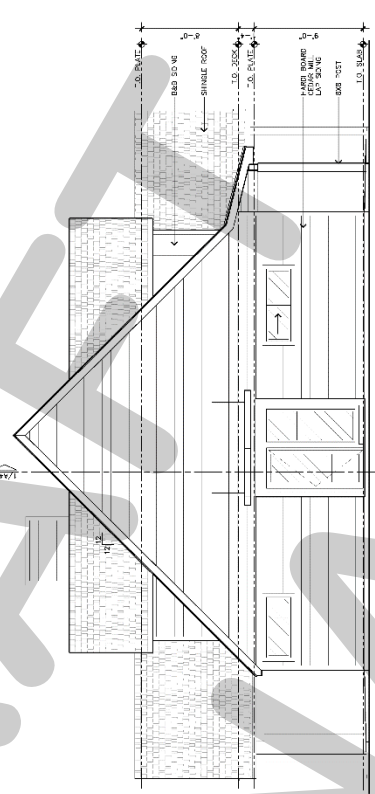
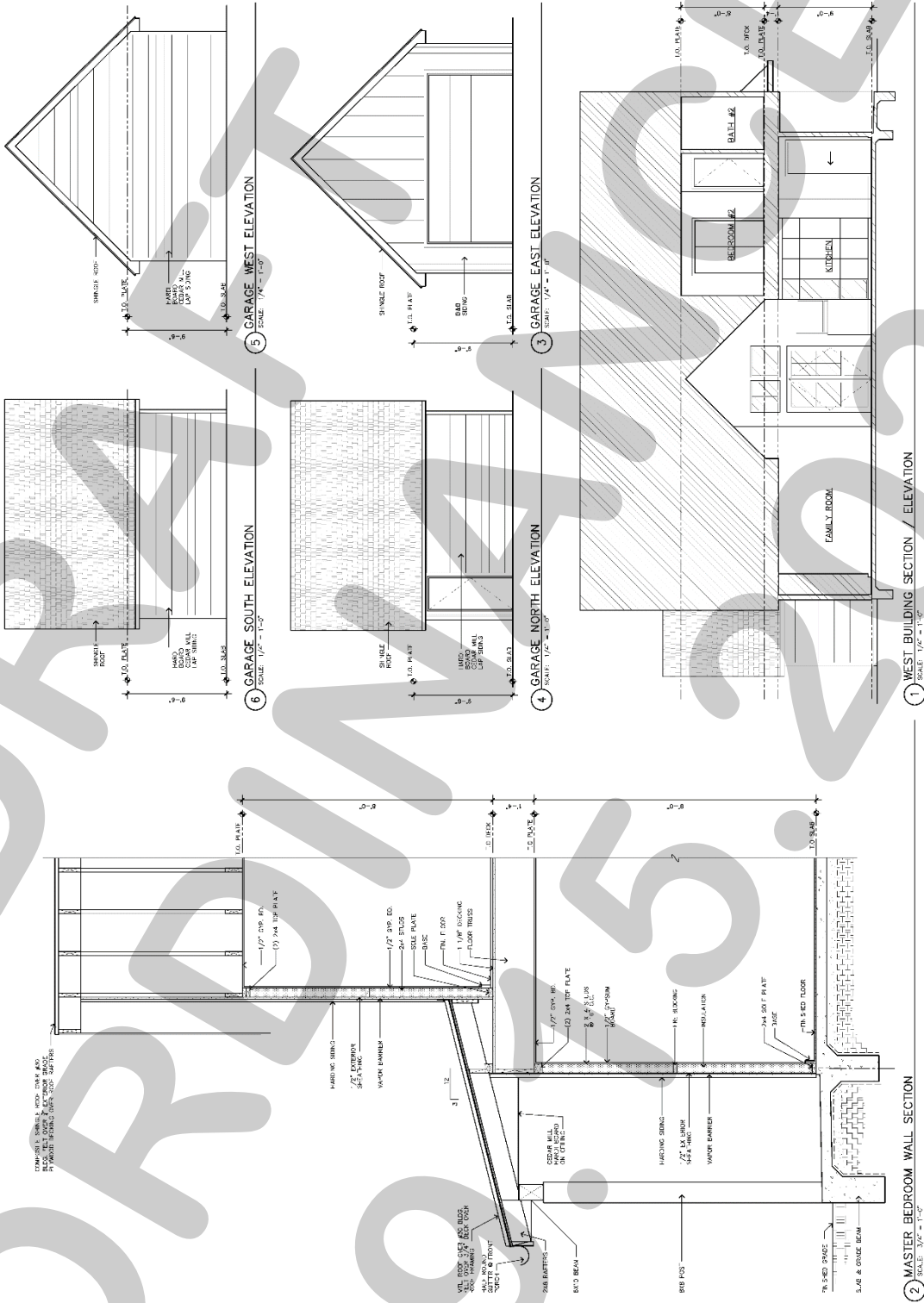


Exhibit 'C': Building Elevations



<p>WELLS RESIDENCE 210 WADE DRIVE, ROCKWALL, TX 75087 100-1400 HARBERS SUBDIVISION, BLOCK A, LOT 13</p>	<p>Modern Craft Construction, LLC 2102 W. 141st, Rockwall, Texas 75087 972.477.7443 www.moderncraftconstruction.com</p>	<p>DATE: 7/1/2020 BY: [Signature]</p>
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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: September 15, 2020

SUBJECT: Z2020-034; *Specific Use Permit (SUP) for a Residential Infill for 118 Mischief Lane*

On September 11, 2020, the applicant sent a letter requesting to withdraw *Case No. Z2020-034* (see *Exhibit 'A'*). According to Subsection 01.03, *Application Withdrawal*, of the Article 11, *Development Application and Review Procedures*, of the Unified Development Code (UDC), "(i)f an application requires notice to be published in the newspaper and/or notifications of a public hearing sent to affected property owners, such request for withdrawal of an application must be placed on the public hearing agenda and acted upon by the applicable body." This means the Planning and Zoning Commission will be required to vote on whether or not to accept the applicant's withdraw request. Should the City Council have any questions staff will be available at the September 15, 2020 meeting.

Exhibit 'A': Applicant's Letter

From: [Sternes, Carolyn](#)
To: [Miller, Ryan](#); [Gamez, Angelica](#)
Subject: RE: Project Comments: Z2020-034 - Request to Withdraw Case for SUP
Date: Friday, September 11, 2020 11:01:53 AM

Good morning Ryan-

We, Tilson Custom Homes on the behalf of Major Rush, formally request the withdraw of our case for the SUP at 118 Mischief Lane, due to our current designs being in violation to the HOA recorded restrictions.

Please let me know if you need any additional information.

Thanks,
Carolyn Sternes
Tilson Homes
411 Durham Dr.
Houston, Texas 77007
713-293-3104

sternes@tilsonhome.com



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 15, 2020
APPLICANT: Major Rush
CASE NUMBER: Z2020-034; *Specific Use Permit (SUP) for a Residential Infill for 118 Mischief Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42*, and rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48*. Phase 20 was later amended by *Ordinance No. 85-43* on August 26, 1985. A preliminary plat (*Case No. PZ1985-049-01*) and a final plat (*Case No. PZ1985-051-01*) for Phase 20 of the Chandler's Landing Subdivision were later approved on July 2, 1985. This established the subject property as Lot 12, Block A, Chandler's Landing, Phase 20. The subject property remains zoned Planned Development District 8 (PD-8) and has remained vacant since it was originally platted.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 118 Mischief Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are Phases 2 & 3 of the Signal Ridge subdivision. Phase 2 of the Signal Ridge subdivision consists of 57 townhomes on 3.98-acres, and Phase 3 of the Signal Ridge subdivision consists of 113 townhomes on 8.88-acres. Beyond this is Phase 4 of the Signal Ridge subdivision, which consists of 125 townhomes on 6.78-acres. All of these phases of the Signal Ridge Subdivision are zoned Planned Development District 15 (PD-15) for *single-family condominium* land uses.

South: Directly south of the subject property is Mischief Lane, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is the remainder of Phase 20 of the Chandler's Landing Subdivision, which consists of 63 single-family residential lots on 12.11-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses. South of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

East: Directly east of the subject property is Mischief Lane, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive

Plan. Beyond this is the remainder of Phase 20 of the Chandler's Landing Subdivision, which consists of 63 single-family residential lots on 12.11-acres. This property is zoned Planned Development District 8 (PD-8) for single-family residential land uses. East of this is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

West: Directly west of the subject property is 120 Mischief Lane, followed by Phase 3 of the Signal Ridge subdivision. Phase 3 of the Signal Ridge subdivision consists of 113 townhomes on 8.88-acres. 120 Mischief Lane is zoned Planned Development District 8 (PD-8) for single-family residential land uses, and Phase 3 of the Signal Ridge subdivision is zoned Planned Development District 15 (PD-15) for *single-family condominium* land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of the Phase 20 of the Chandler's Landing Subdivision, which has been in existence since 1985 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Mischief Lane compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Mischief Lane	Proposed Housing
Building Height Building Orientation	One (1) & Two (2) Story All of the homes located along Mischief Lane are oriented towards Mischief Lane, with the exception of 132 Mischief Lane. This house is oriented towards Yacht Club Drive	Two (2) Story The front elevation of the home will face onto Mischief Lane.
Year Built	1990-2016	N/A
Building SF on Property	2,097 SF – 4,000 SF	[Estimated] 2,360 SF
Building Architecture	Traditional Brick/Stone Suburban Residential with One (1) Modern Home	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	~15½-Feet and 7½-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	24.40625-Feet
Building Materials	HardiBoard/HardiePlank, Brick, Stone and Stucco.	Combination of HardiPlank Siding and Brick
Paint and Color	White, Cream, Red, Pink, Beige, Grey, and Brown	Undefined by the Applicant
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front and visible from Mischief Lane with the orientations being <i>flat front entry</i> , <i>garage forward entry</i> , <i>side entry</i> , and <i>'J' or traditional swing entry</i> .	The garage will be situated 12.25-feet in front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to orient the garage so that it projects in front of the front façade of the single-family home by 12.25-feet. Staff should point out that since the construction range for housing in this area extends from 1990-2016, the houses in this area already have several garage configurations that would be deemed to be legally non-conforming (*i.e. they were conforming when they were constructed; however, due to changes in the code they are no longer conforming and would not be permitted to be built in this configuration today*). In addition, there is one (1) other home (*i.e. 116 Mischief Lane*) that appears to have a similar garage configuration as to what is being proposed by the applicant; however, this aspect is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council will be waiving the garage orientation requirement. With this being said, staff should point out -- *that with the exception of the garage orientation* -- the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Mischief Lane and the proposed building elevations in the attached packet.

NOTIFICATIONS

On May 27, 2020, staff mailed 286 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Water's Edge at Lake Ray Hubbard, Signal Ridge, Signal Ridge Phase 4, and Chadler's Landing Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had one (1) notice in favor of the request and one (1) notice opposed to the request; however, staff should note that the notice opposed to the request stated that "(t)his street should be only single-family residences."

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-034

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 118 Mischeif Lane

Subdivision Chandler's Landing Phase 20

Lot 12

Block A

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use Vacant lot

Proposed Zoning

Proposed Use Private SFR

Acreage

Lots [Current]

Lots [Proposed]

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner Major Rush

☐ Applicant

Contact Person Carolyn Sternes - Tilson Homes

Contact Person

Address 411 Durham Dr.

Address

City, State & Zip Houston, TX. 77007

City, State & Zip

Phone 713-293-3104

Phone

E-Mail sternes@tilsonhome.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Major Rush [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$_____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of Aug, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the Aug day of 13, 2020.

Owner's Signature

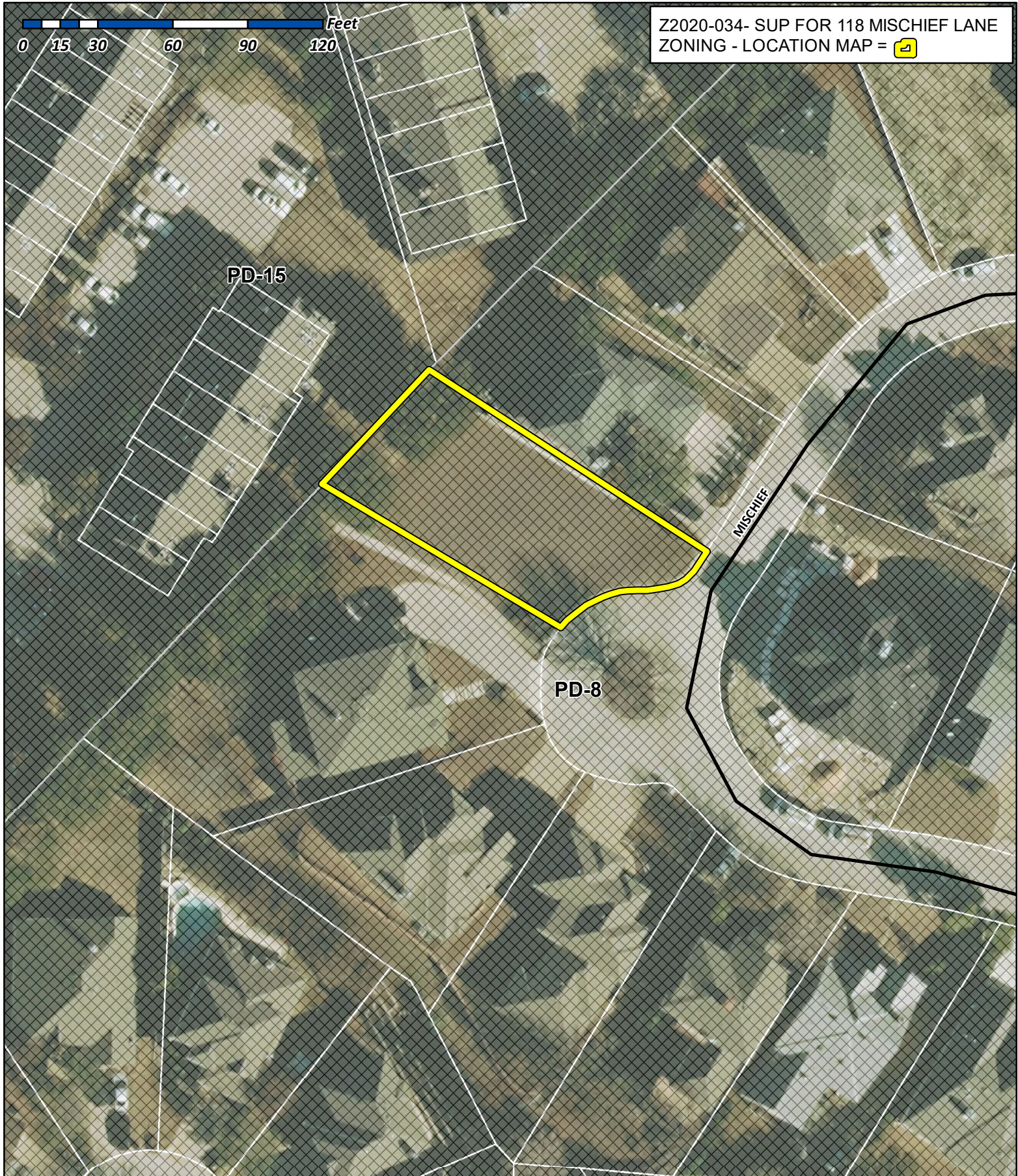
Major Rush

Notary Public in and for the State of Texas

Jim Williams

JERIM WILLIAMS
Notary Public - Notary Seal
New Madrid County - State of Missouri
Commission Number 14610413
My Commission Expires Apr 29, 2022

My Commission Expires 04.29.2022



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
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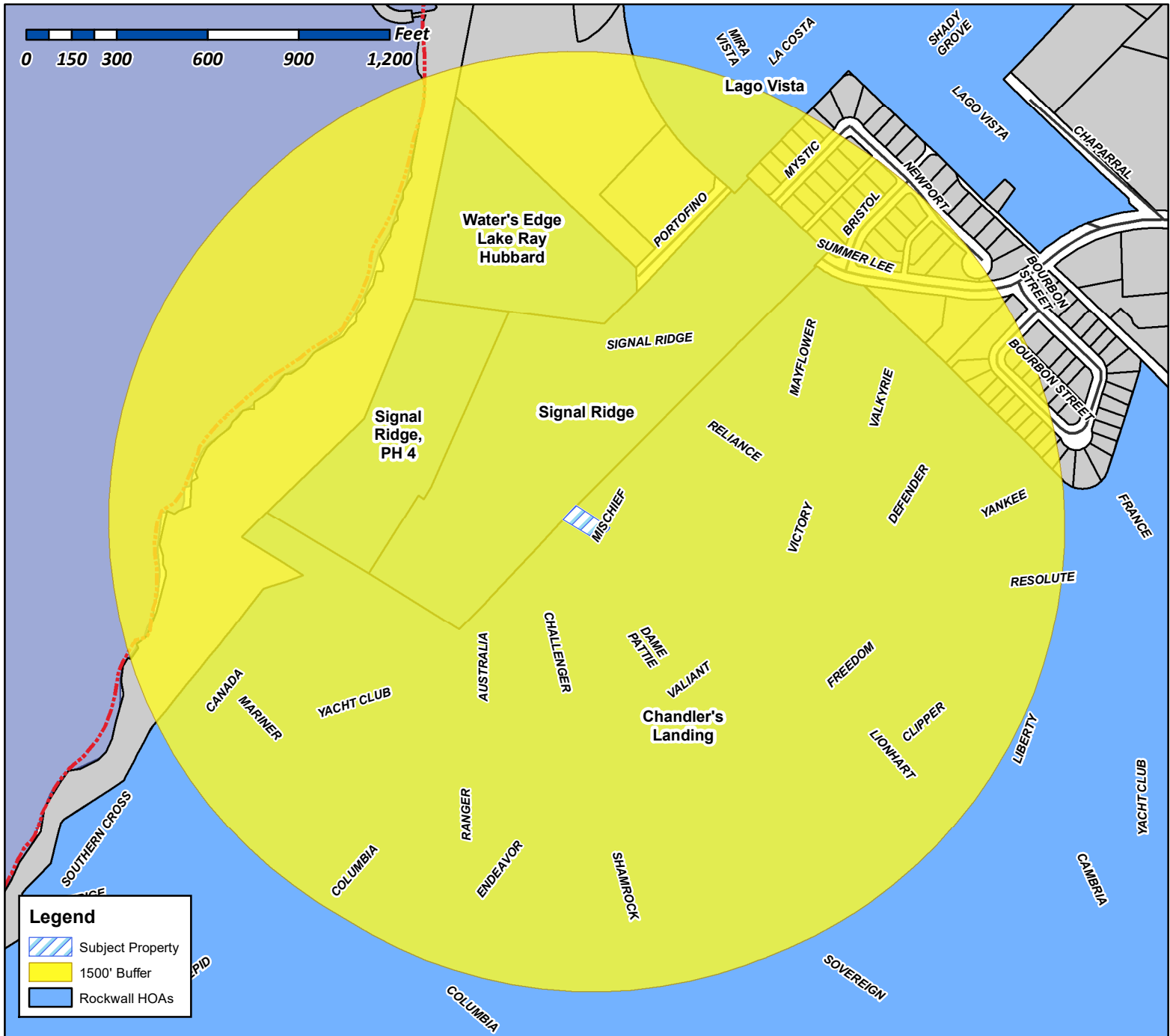




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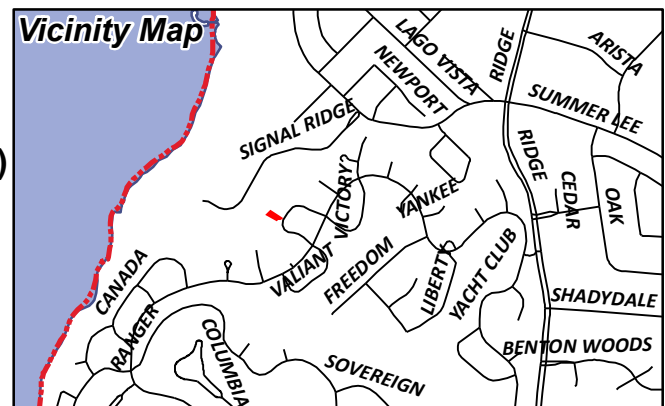
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Case Number: Z2020-034
Case Name: SUP for 118 Mischief Lane
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 118 Mischief Lane

Date Created: 8/14/2020

For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program
Date: Tuesday, August 18, 2020 4:59:52 PM
Attachments: [HOA Map \(08.14.2020\).pdf](#)
[Public Notice \(08.18.2020\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, August 21, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-034 SUP for Residential Infill at 118 Mischief Lane

Hold a public hearing to discuss and consider a request by Major Rush for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1637-acre parcel of land identified as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

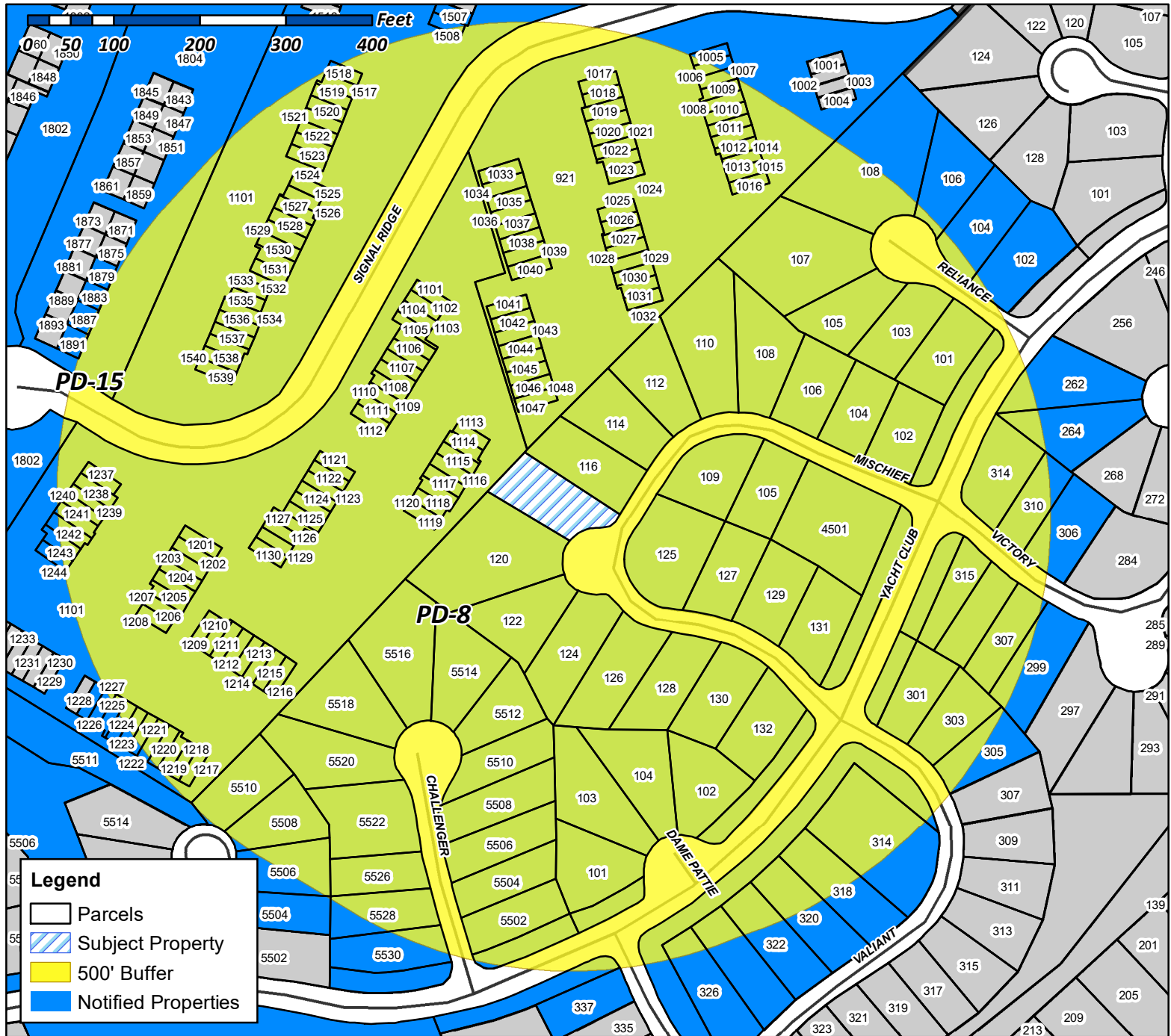
<http://www.rockwall.com/planning/>



City of Rockwall

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Case Number: Z2020-034
Case Name: SUP for 118 Mischief Lane
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 118 Mischief Lane

Date Created: 8/14/2020

For Questions on this Case Call (972) 771-7745



MARICH ENTERPRISE CORPORATION
1005 SIGNAL RIDGE
ROCKWALL, TX 75032

SEPEHRI SUSAN M
1006 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BROYLES STEPHANIE
1007 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN
1008 SIGNAL RIDGE
ROCKWALL, TX 75032

MIEROW SHARON A
1009 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MAFFEI DIEGO R & GERTRAUD A
101 DAME PATTIE DR
ROCKWALL, TX 75032

GOODSON JOSEPH F & SONJA R
101 RELIANCE CT
ROCKWALL, TX 75032

HIGGINS MICHAEL R AND ANN S
1010 SIGNAL RIDGE
ROCKWALL, TX 75032

FOREMAN JANET
1011 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MOORE GREGORY J
1013 SIGNAL RIDGE
ROCKWALL, TX 75032

ROBERTSON GERALDINE C &
LANCE STANFORD ROBERTSON
1014 SIGNAL RIDGE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1015 SIGNAL RIDGE
ROCKWALL, TX 75032

GRAGG CAROL
1016 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
1017 NATIVE TR
HEATH, TX 75032

GARDNER DAVID L REV LIV TR
1017 SIGNAL RIDGE
ROCKWALL, TX 75032

TROTTER STEVEN D
1018 SIGNAL RIDGE PL
ROCKWALL, TX 75032

AMHILL FINANCIAL LP
ATTN JIM PETERS
1019 SIGNAL RIDGE
ROCKWALL, TX 75032

MUSSER MARTIN C
102 DAME PATTIE DR
ROCKWALL, TX 75032

BADEAUX BRYAN A JR AND MARTHA D
102 MISCHIEF LN
ROCKWALL, TX 75032

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

WAGNER JULIE A
1020 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1021 SIGNAL RIDGE
ROCKWALL, TX 75032

DAFFRON JAMES R SR & ANDREA
1022 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HAIL CHRIS & MELODY
1023 SIGNAL RIDGE
ROCKWALL, TX 75032

VAIL SYDNEY
1024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCMURTRE DREW
1025 SIGNAL RIDGE
ROCKWALL, TX 75032

WHITE RANDY
1026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCPARTLAND MARY C
1027 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ALVARADO KRESHA
1028 SIGNAL RIDGE
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE
1029 SIGNAL RIDGE
ROCKWALL, TX 75032

SPURLOCK BRENDA CAROL
10297 CR 540
LAVON, TX 75166

THOMAS VELIA
103 DAME PATTIE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

SINCLAIR SHERI JENE & SUE
103 RELIANCE CT
ROCKWALL, TX 75032

LIBERTY TRUST COMPANY LTD
CUSTODIAN FBO WILLIAM COMPTON
1030 SIGNAL RIDGE
ROCKWALL, TX 75032

LIBERTY TRUST COMPANY LTD
CUSTODIAN FBO WILLIAM COMPTON IRA
#TC005612
1031 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

PERROTTA SHARON
1032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSTON SHARRON
1033 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1034 SIGNAL RIDGE
ROCKWALL, TX 75032

FALLS DAVID & TERRI
1035 SIGNAL RIDGE
ROCKWALL, TX 75032

BOYD KENNETH
1036 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI
1037 SIGNAL RIDGE
ROCKWALL, TX 75032

BEVILL HELEN M AND
CHANDRA KARLEN
1038 SIGNAL RIDGE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
ATTN:TOM LORENZ
1039 SIGNAL RIDGE
ROCKWALL, TX 75032

FAYAD HUSSIAN AND
ALISSA JENKINS
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

HAYES BRANDON E
104 MISCHIEF
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
104 RELIANCE
ROCKWALL, TX 75032

ARMSTRONG D
1040 SIGNAL RIDGE
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1041 SIGNAL RIDGE
ROCKWALL, TX 75032

ARMSTRONG D
1042 SIGNAL RIDGE
ROCKWALL, TX 75032

NICHOLS JANET
1043 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TRINGALI CAHTERINE
1044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1045 SIGNAL RIDGE
ROCKWALL, TX 75032

YANGER LISA
1046 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
1047 SIGNAL RIDGE
ROCKWALL, TX 75032

ZAIDL SALLY A
1048 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA
106 MISCHIEF LANE
ROCKWALL, TX 75032

DOWLING STEVEN & BRENDA
106 RELIANCE CT
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-
GILBREATH
107 RELIANCE CT
ROCKWALL, TX 75032

CARRILLO VICTOR G
108 MISCHIEF LN
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY
108 RELIANCE CT
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

DILOV VANIO
110 MISCHIEF
ROCKWALL, TX 75032

FULTZ PEGGY J & TOMMY G
1101 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1102 SIGNAL RIDGE
ROCKWALL, TX 75032

HARRIS SUSAN
1103 SIGNAL RIDGE
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO
1104 SIGNAL RIDGE #1104
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

DAVID L GARDNER REVOCABLE LIVING TRUST
1105 51ST ST W
BRADENTON, FL 34209

DAVIS ROBERT NEAL
1105 MELISSA LN
GARLAND, TX 75040

LARAPINTA LLC
1105 SIGNAL RIDGE
ROCKWALL, TX 75032

OGLIN THOMAS J & JOYCE L
1106 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PARNES DROR & ALEXANDRA
1107 SIGNAL RIDGE
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1108 SIGNAL RIDGE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1109 SIGNAL RIDGE
ROCKWALL, TX 75032

BURKETT REBECCA SHANNON
MARY R BURKETT CUSTODIAN
1111 SIGNAL RIDGE
ROCKWALL, TX 75032

TWOMEY ELIZABETH A
1112 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1113 SIGNAL RIDGE
ROCKWALL, TX 75032

HOGAN JERRY
1114 SIGNAL RIDGE
ROCKWALL, TX 75032

MATHERNE JUDITH L
1115 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUZZI CHARLES F & MURIEL Y
1116 SIGNAL RIDGE
ROCKWALL, TX 75032

LEVENTHAL PATRICK J
1118 SIGNAL RIDGE PL
ROCKWALL, TX 75032

METZGER JACQUELINE
1119 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K
112 MISCHIEF LANE
ROCKWALL, TX 75032

LAMAN FRANCES ANN
1120 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
1121 SIGNAL RIDGE
ROCKWALL, TX 75032

MAYHALL MORGAN
1122 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

AMHILL FINANCIAL LP
1123 SIGNAL RIDGE
ROCKWALL, TX 75032

PAIGE RYAN PROPERTIES LLC
1124 SIGNAL RIDGE
ROCKWALL, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH
1125 SIGNAL RIDGE
ROCKWALL, TX 75032

YANGER MORRIS ETUX
1126 SIGNAL RIDGE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1127 SIGNAL RIDGE
ROCKWALL, TX 75032

VAUGHAN CULLY & SARA
1128 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1129 SIGNAL RIDGE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
1130 SIGNAL RIDGE
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J
114 MISCHIEF LANE
ROCKWALL, TX 75032

LETT LORNA
116 MISCHIEF LN
ROCKWALL, TX 75032

ROBERTSON GERALDINE C &
LANCE STANFORD ROBERTSON
1170 WATERSIDE CIR
ROCKWALL, TX 75087

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1201 SIGNAL RIDGE
ROCKWALL, TX 75032

DAVIS ROBERT NEAL
1202 SIGNAL RIDGE
ROCKWALL, TX 75032

CLARKE BEVERLY ANN
1203 SIGNAL RIDGE PL #3
ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST
1204 SIGNAL RIDGE
ROCKWALL, TX 75032

SELZER DEANNA
1205 SIGNAL RIDGE
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
ATTN:TOM LORENZ
1206 SIGNAL RIDGE
ROCKWALL, TX 75032

BURKETT MARY REBECCA
1207 SIGNAL RIDGE
ROCKWALL, TX 75032

ADAMS LINDA RUTH
1208 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BUNYASAI PARIYADA
1209 SIGNAL RIDGE
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1210 SIGNAL RIDGE
ROCKWALL, TX 75032

LANE DEBRA
1211 SIGNAL RIDGE
ROCKWALL, TX 75032

RICHMOND JANET M & TOM R
1212 SIGNAL RIDGE
ROCKWALL, TX 75032

BROWNE STANLEY H & SANDRA R
1213 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DAVID L GARDNER REVOCABLE LIVING TRUST
1214 SIGNAL RIDGE
ROCKWALL, TX 75032

BURKETT MARY R CUSTODIAN
FOR REBECCA SHANNON BURKETT
1215 SIGNAL RIDGE
ROCKWALL, TX 75032

DALE ROBERT WAYNE
1216 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BURKETT MARY R
CUSTODIAN F/BENJAMIN HERRINGTON E
BURKETT
1217 SIGNAL RIDGE
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1218 SIGNAL RIDGE
ROCKWALL, TX 75032

BURKETT REBECCA SHANNON
MARY R BURKETT CUSTODIAN
1219 SIGNAL RIDGE
ROCKWALL, TX 75032

LOWREY COLT A AND
LEO WISE
122 MISCHIEF LN
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
1220 SIGNAL RIDGE
ROCKWALL, TX 75032

LASAGE TAMMY
1221 SIGNAL RIDGE PL #1221
ROCKWALL, TX 75032

CHAMBERLIN PROPERTIES LLC
1222 SIGNAL RIDGE
ROCKWALL, TX 75032

DWYER AMY SUZANNE
1223 SIGNAL RIDGE
ROCKWALL, TX 75032

MEYRAT JULIEN BALDRIDGE
1224 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
1225 SIGNAL RIDGE
ROCKWALL, TX 75032

RUSSELL VIRGINIA C
1226 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BURKETT REBECCA SHANNON
MARY R BURKETT CUSTODIAN
1227 SIGNAL RIDGE
ROCKWALL, TX 75032

STEWART BEVERLY
1237 SIGNAL RIDGE
ROCKWALL, TX 75032

NAUMANN KURT
1238 SIGNAL RIDGE
ROCKWALL, TX 75032

TULK SHARON KAYE
1239 SIGNAL RIDGE
ROCKWALL, TX 75032

MONTOYA ASHLEY R & JOSE L
124 MISCHIEF LANE
ROCKWALL, TX 75032

NGUYEN KIM LOAN
1240 SIGNAL RIDGE PL
ROCKWALL, TX 75032

N & S PROPERTIES LLC
1241 SIGNAL RIDGE
ROCKWALL, TX 75032

COCANOUGHER TODD M
1242 SIGNAL RIDGE
ROCKWALL, TX 75032

JDM RENTALS I LLC
1243 SIGNAL RIDGE
ROCKWALL, TX 75032

BUNYASAI PARIYADA
1244 SIGNAL RIDGE
ROCKWALL, TX 75032

ODOM LACEY AND JOSH
125 MISCHIEF
ROCKWALL, TX 75032

STEWART BEVERLY
125 SHEPHERDS GLEN RD
ROCKWALL, TX 75032

HEATHER WRIGHT LIVING TRUST
HEATHER WRIGHT TRUSTEE
126 MISCHIEF
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

BUSH VERONICA GAIL LODRIGUEZA AND
JONATHON JAMES BUSH
132 MISCHIEF LN
ROCKWALL, TX 75032

COCANOUGHER TODD M
1345 RIDGE RD #310
ROCKWALL, TX 75087

HEATHER WRIGHT LIVING TRUST
HEATHER WRIGHT TRUSTEE
14 NORMAN TRL
ROCKWALL, TX 75087

LANIGAN TIFFANY LEE
143 STEVENSON DR
FATE, TX 75087

JOHNSON TIFFANY MICHELLE
148 OXFORD
HEATH, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD DR
HEATH, TX 75032

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

PRESTON DEWEY D & NANNETTE
1501 S LAKESHORE DR
ROCKWALL, TX 75087

THOMAS BARBARA E
1507 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
1508 SIGNAL RIDGE
ROCKWALL, TX 75032

GIFFORD JIM L & PAMELA
1517 SIGNAL RIDGE
ROCKWALL, TX 75032

GARDNER DAVID L REVOCABLE LIVING TRUST
DAVID L GARDNER TRUSTEE
1518 SIGNAL RIDGE
ROCKWALL, TX 75032

YANGER MORRIS & DORIS
1519 SIGNAL RIDGE
ROCKWALL, TX 75032

DECKER SARAH E
1520 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCCLENDON JAMIE
1521 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KUMAR ANVITA
1522 SIGNAL RIDGE
ROCKWALL, TX 75032

TUDOR JEAN
1523 SIGNAL RIDGE PL
ROCKWALL, TX 75032

TABOR MARILYN W
1524 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LIBERTY TRUST COMPANY LTD
FBO CUSTODIANS SHERYL LYNNE COMPTON
AND WILLIAM D COMPTON
1525 SIGNAL RIDGE
ROCKWALL, TX 75032

SEVILLA ELIZABETH
1526 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PALERMO JAMES ALBERT
1527 SIGNAL RIDGE
ROCKWALL, TX 75032

COLLINS KATHY
1528 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
1529 SIGNAL RIDGE
ROCKWALL, TX 75032

AMHILL FINANCIAL LLP
1530 SIGNAL RIDGE
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
1531 SIGNAL RIDGE
ROCKWALL, TX 75032

SRYGLEY JAMES
1532 SIGNAL RIDGE
ROCKWALL, TX 75032

YANGER MORRIS & DORIS
1533 SIGNAL RIDGE
ROCKWALL, TX 75032

RICKERSON CHARLES AND VIRGINIA
1534 SIGNAL RIDGE
ROCKWALL, TX 75032

SCHUERENBERG CHARLES AND PENNIE
1535 SIGNAL RIDGE
ROCKWALL, TX 75032

AMHILL FINANCIAL L.P.
1536 SIGNAL RIDGE
ROCKWALL, TX 75032

LANIGAN TIFFANY LEE
1537 SIGNAL RIDGE
ROCKWALL, TX 75032

BALDWIN GLENN RAY
1538 SIGNAL RIDGE
ROCKWALL, TX 75032

SPURLOCK BRENDA CAROL
1539 SIGNAL RIDGE
ROCKWALL, TX 75032

RICKERSON CHARLES AND VIRGINIA
1540 SIGNAL RIDGE
ROCKWALL, TX 75032

GORDON NANCY ARAKAKI
159 W 118TH ST APT PH-H
NEW YORK CITY, NY 10026

MILLER LYNETTE LIFE ESTATE
ALISON LYN FOX
1601 BAYCREST TRAIL
HEATH, TX 75032

NAUMANN KURT
168 STONELEIGH DR
HEATH, TX 75032

DWA EQUITIES LLC
1802 SIGNAL RIDGE
ROCKWALL, TX 75032

COPE JEANETTE M
1804 SIGNAL RIDGEPL

GUZZI CHARLES F & MURIEL Y
18635 TULSA ST
NORTHRIDGE, CA 91326

1879 ROCKETEER HOLDINGS LLC
1879 SIGNAL RIDGE
ROCKWALL, TX 75032

OARD EUGENE E
1883 SIGNAL RIDGE
ROCKWALL, TX 75032

RUBLE ROLAND E AND BARBARA R
1887 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

MILLER LYNETTE LIFE ESTATE
ALISON LYN FOX
1891 SIGNAL RIDGE
ROCKWALL, TX 75032

SCHUERENBERG CHARLES AND PENNIE
1907 KINGS PASS
HEATH, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1910 SIGNAL RIDGE
ROCKWALL, TX 75032

GIFFORD JIM L & PAMELA
1964 GULLWING DR
ROCKWALL, TX 75087

CHAMBERLIN PROPERTIES LLC
2005 LAKE FOREST
ROCKWALL, TX 75087

LARAPINTA LLC
2028 E. BEN WHITE BLVD # 240-5820
AUSTIN, TX 75741

RICKERSON CHARLES AND VIRGINIA
206 LAKEHILL DRIVE
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
206 LAKEHILL DRIVE
ROCKWALL, TX 75087

HOGAN JERRY
2109 TWILIGHT PT
HEATH, TX 75032

MOORE GREGORY J
2140 PORTOFINO DR
ROCKWALL, TX 75032

BALDWIN GLENN RAY
216 STANFORD CT
HEATH, TX 75032

1879 ROCKETEER HOLDINGS LLC
2200 ROSS AVE 3600
DALLAS, TX 75201

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

THOMAS VELIA
2612 GULL LAKE DRIVE
PLANO, TX 75025

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

CSH 2016-2 BORROWER LLC
264 VICTORY
ROCKWALL, TX 75032

DILOV VANIO
2717 LAKEWOOD DR
ROWLETT, TX 75088

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
277 TERRY LANE
HEATH, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

BEVILL HELEN M AND
CHANDRA KARLEN
2977 OAK DR
ROCKWALL, TX 75032

LIBERTY TRUST COMPANY LTD
CUSTODIAN FBO WILLIAM COMPTON
2984 HUNTERGLEN ROAD
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

HAIL CHRIS & MELODY
3 WILTSHIRE COURT
HEATH, TX 75032

MCMURTRE DREW
3000 TWIN LAKES DR
PROSPER, TX 75078

ALLEN ANN
301 VALIANT
ROCKWALL, TX 75032

WARD ANDREA N
303 VALIANT DRIVE
ROCKWALL, TX 75032

DEAL ROBERT
305 VALIANT DRIVE
ROCKWALL, TX 75032

MCMINN KIMBERLY
306 VICTORY
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
310 VICTORY
ROCKWALL, TX 75032

HAMMAN CHRISTOPHER & ANNE MARIE
MARTIN
314 VALIANT DRIVE
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

SRP SUB LLC
320 VALIANT
ROCKWALL, TX 75032

DUNAWAY TINA
322 VALIANT DRIVE
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
326 VALIANT
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
331 MOCKINGBIRD LN
AUBURN, AL 36830

HARMON H VICTOR
337 VALIANT
ROCKWALL, TX 75032

N & S PROPERTIES LLC
3402 ANTHONY CIR
ROWLETT, TX 75088

BUNYASAI PARIYADA
3416 CAMPUS AVE
CLAREMONT, CA 91711

FALLS DAVID & TERRI
3608 LAKESIDE DR
ROCKWALL, TX 75087

TULK SHARON KAYE
408 COLUMBIA DR
ROCKWALL, TX 75032

PALERMO JAMES ALBERT
411 DRIFTWOOD ST
ROCKWALL, TX 75087

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

RUBENSTEIN ALAN J AND
GINA L STRICKLIN
4501 YACHT CLUB DR
ROCKWALL, TX 75032

KUMAR ANVITA
4701 COPPER MOUNTAIN LANE
RICHARDSON, TX 75082

SELZER DEANNA
510 TURTLE COVE BLVD STE 109
ROCKWALL, TX 75087

HARMON H VICTOR
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

MARSHALL SAMUEL AND DIANA
5502 CHALLENGER CT
ROCKWALL, TX 75032

LINLEY ZACHARY AND ELIZABETH HOLLAND-
5504 AUSTRALIA COURT
ROCKWALL, TX 75032

MCKAY ADRIAN AND ROBERTA
5504 CHALLENGER CT
ROCKWALL, TX 75032

WILSON STEPHEN L & JANPRAPHA T
5506 AUSTRALIA CT
ROCKWALL, TX 75032

KJT FLYING PROPERTIES LLC
5506 CHALLENGER
ROCKWALL, TX 75032

YOUNG SHERRY WHITE
5508 AUSTRALIA CT
ROCKWALL, TX 75032

NORTON ANGELA
5508 CHALLENGER CT
ROCKWALL, TX 75032

HOWERTON JASON BRUCE & BRITTANY JEAN
WILSON
5510 AUSTRALIA COURT
ROCKWALL, TX 75032

EVERSWICK LIVING TRUST
DAVID N AND JOYCE EVERSWICK TRUSTEES
5510 CHALLENGER
ROCKWALL, TX 75032

TAYLOR JOE & CINDY
5511 AUSTRALIA CT
ROCKWALL, TX 75032

BEST JAMES AND DEBRA
5512 CHALLENGER CT
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN
5514 CHALLENGER CT
ROCKWALL, TX 75032

CABANISS CHAR CHERICE
DAVID R DE LA CERDA
5516 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5520 CHALLENGER
ROCKWALL, TX 75032

HENRY MARY DELINA & DOUGLAS GARFIELD
5522 CHALLENGER COURT
ROCKWALL, TX 75032

CONFIDENTIAL
5526 CHALLENGER COURT
ROCKWALL, TX 75032

SHELTON ROBERT M
5528 CHALLENGER CT
ROCKWALL, TX 75032

WATKINS JAMES & ELLEN
5530 CHALLENGER CT
ROCKWALL, TX 75032

EVERSWICK LIVING TRUST
DAVID N AND JOYCE EVERSWICK TRUSTEES
56 JOYCE DR
SUCCASUNNA, NJ 7876

ALLEN ANN
5612 CAMBRIA DR
ROCKWALL, TX 75032

ALVARADO KRESHA
5905 VOLUNTEER PL
ROCKWALL, TX 75032

DWYER AMY SUZANNE
6101 VOLUNTEER PL
ROCKWALL, TX 75032

OARD EUGENE E
6104 BLACK SWAN CIR
GARLAND, TX 75044

HARRIS SUSAN
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ROCKWALL, TX 75032

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7685 STATE HIGHWAY 53 N
UPPER SANDUSKY, OH 43351

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ARMSTRONG JOHN D III AND INDIVIDUAL
804 EAGLE PASS
HEATH, TX 75032

CROW BILL CHARLES & RUTH ELIZABETH
828 CR 1035
COOPER, TX 75432

CSH 2016-2 BORROWER LLC
8665 EAST HARTFORD DR SUITE 200
SCOTTSDALE, AZ 85255

SRP SUB LLC
8665 EAST HARTFORD DRIVE SUITE 200
SCOTTSDALE, AZ 85255

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
C/O CHARLES LINEVILLE P O BOX 743612
DALLAS, TX 75374

AMHILL FINANCIAL LP
P. O. BOX 1179
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLLIE, TX 75098

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

RICHMOND JANET M & TOM R
PO BOX 1145
ROCKWALL, TX 75087

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

SRYGLEY JAMES
PO BOX 1928
ROCKWALL, TX 75087

JDM RENTALS I LLC
PO BOX 2110
ROCKWALL, TX 75087

MARICH ENTERPRISE CORPORATION
PO BOX 2319
ROCKWALL, TX 75087

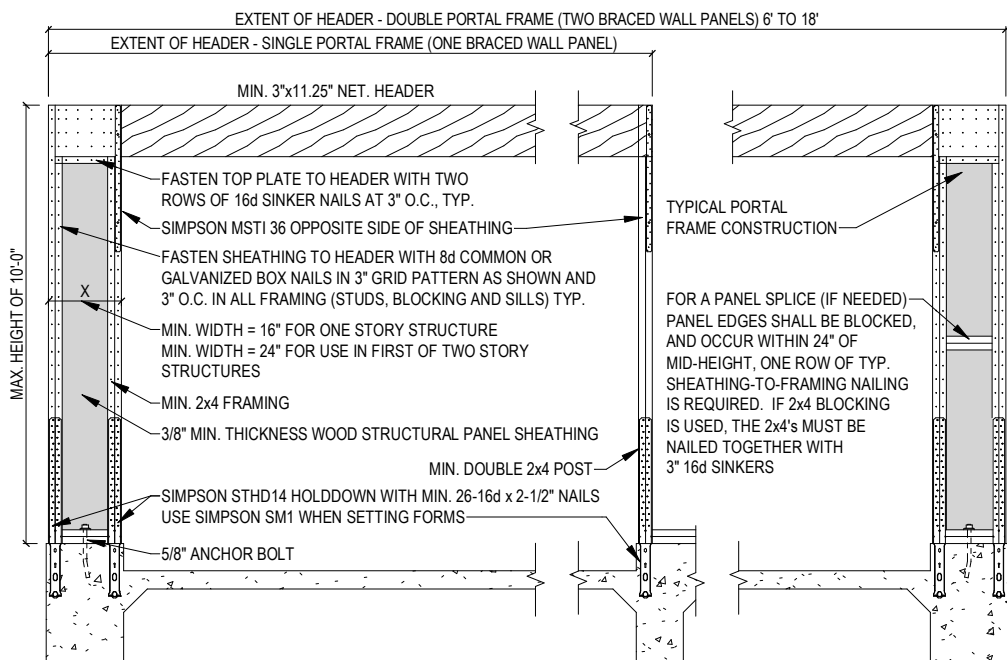
CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

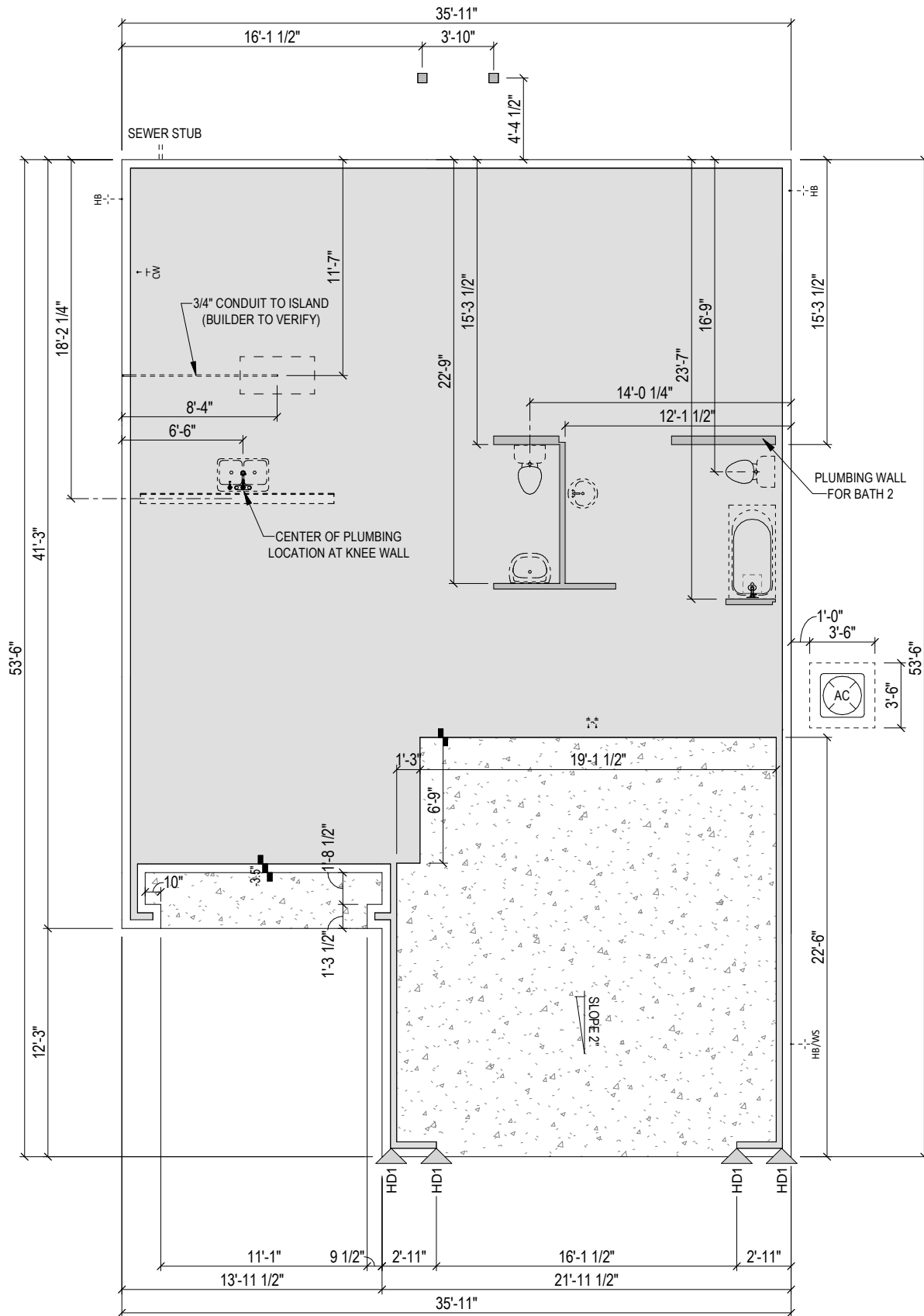
RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

HIGGINS MICHAEL R AND ANN S
PO BOX 850225
MESQUITE, TX 75185

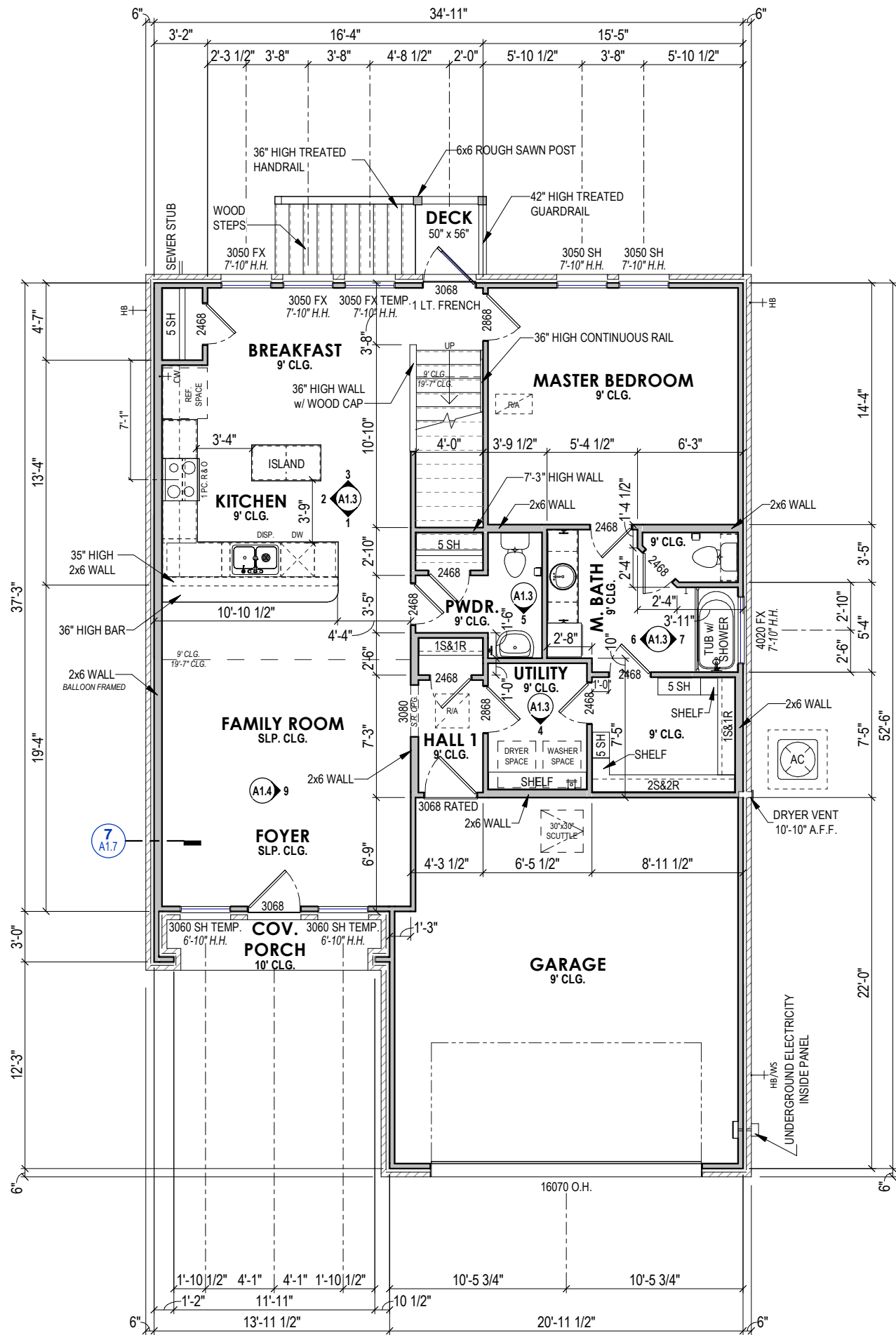
ROCKWALL, TX 75032



**2 PORTAL FRAMING WITH HOLDDOWNS
FOR GARAGE DOOR OPENINGS**
1/8" = 1'-0"



1 SLAB PLAN
1/8" = 1'-0"



- FLOOR PLAN NOTES**
- BATH ACCESSORIES:**
(HEIGHT TO BE BLOCKED & MOUNTED)
- TOWEL BARS - 54" A.F.F.
 - TOILET PAPER HOLDER - 28" A.F.F.
 - ROBE HOOK - 72" A.F.F.
 - TOWEL RING - 60" A.F.F.
 - SHOWER ROD - 58" ABV. TUB DECK
- PLUMBING:**
- RANGE GAS SHUT-OFF VALVE (IF APPLICABLE) TO BE LOCATED IN ADJACENT CABINET
- HVAC:**
- FRESH AIR INTAKE SHALL BE VENTED THROUGH SOFFIT OR GABLE WALL
- WATER HEATER:**
- IF LOCATED IN ATTIC: PROVIDE PAN AND DRAIN
 - IF GAS & LOCATED IN CLOSET: WEATHERSTRIP DOOR, PROVIDE OUTSIDE COMBUSTIBLE AIR, & INSULATE WALLS
- GARAGE (IF APPLICABLE):**
- SEE SPECS FOR FINISH

1 1ST FLOOR PLAN
1/8" = 1'-0"

FINAL PLANS

4031

GOLIAD A

FC- 9/10/2019 - MD

RD- 03/17/2019 - SL

PERMIT- 05/12/2020 - SL

CHKOUT- 04/27/2020 - ZO

The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as representation of what the completed structure will look like.

TILSON

CUSTOM HOME BUILDERS

MR. MAJOR RUSH

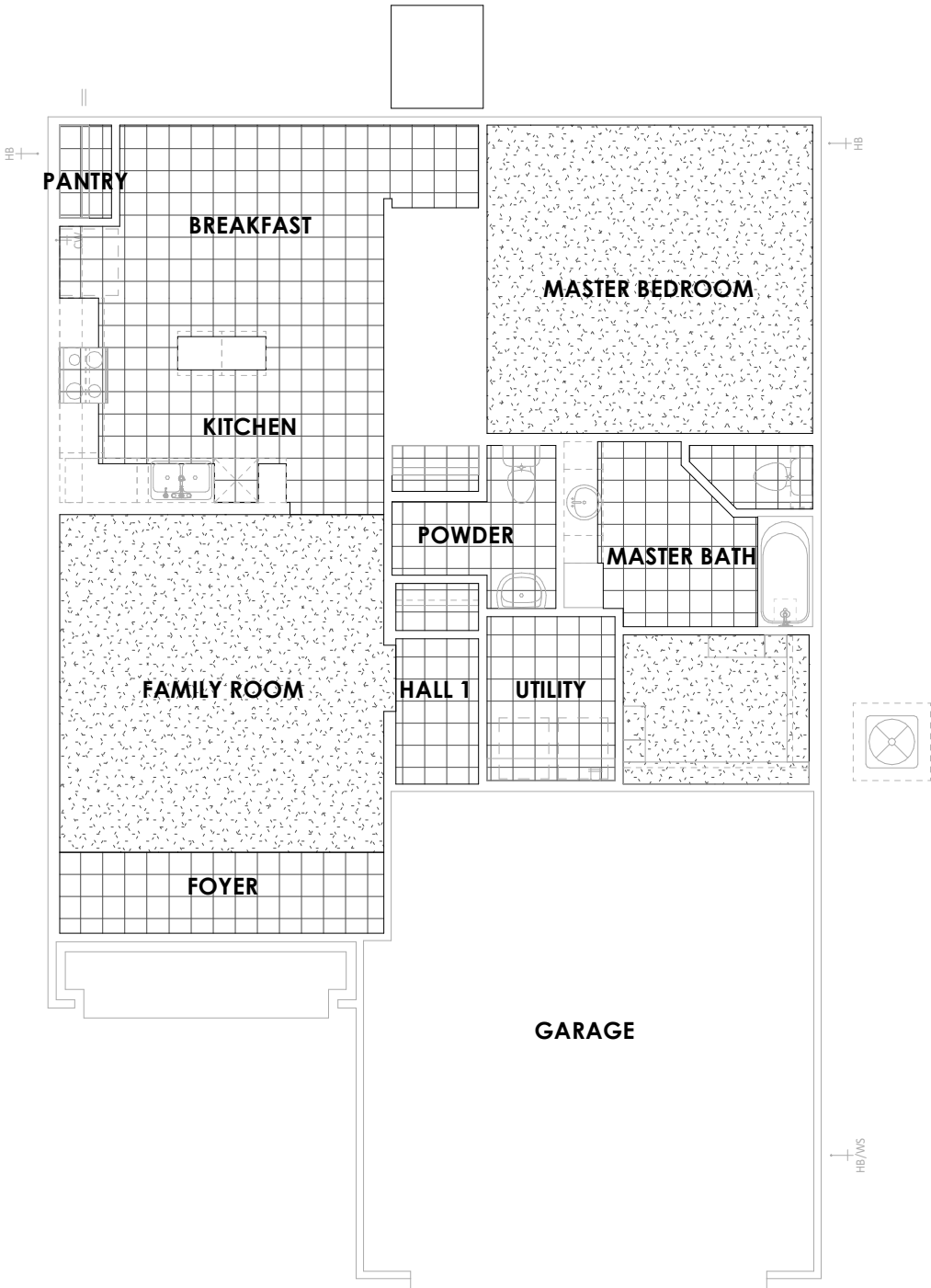
Job #1194397

Rockwall County

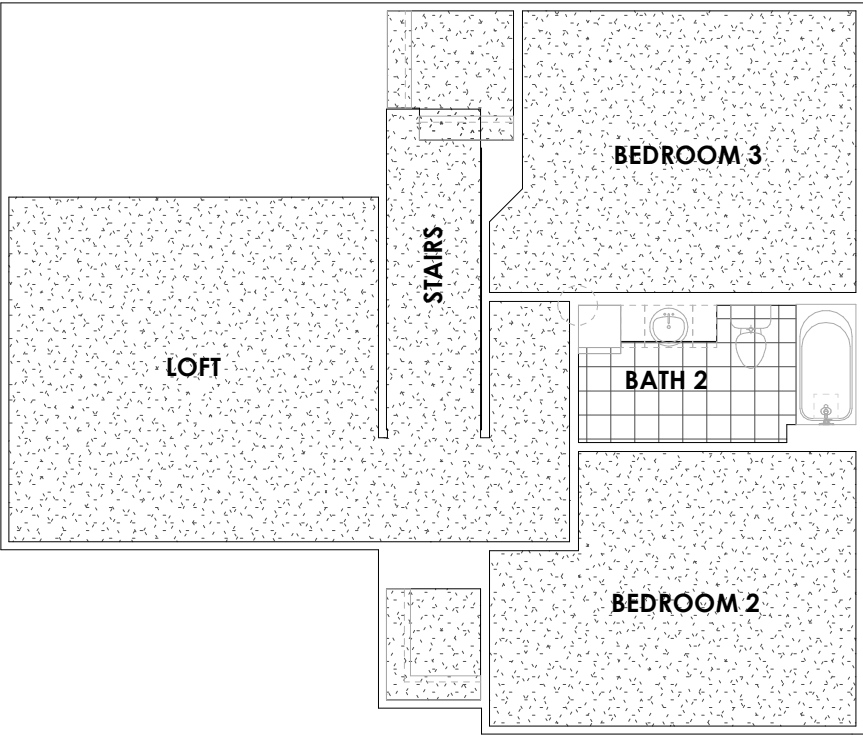
A1.1

ROOM FINISH SCHEDULE			
Name	Ceiling Height	Crown Mould Type	Chair Rail
1ST FLOOR			
BREAKFAST	9'	(none)	
FAMILY ROOM	SLP.	(none)	
FOYER	SLP.	(none)	
GARAGE	9'	(none)	
HALL 1	9'	(none)	
HALL 1 CLOSET	9'	(none)	
KITCHEN	9'	(none)	
MASTER BATH	9'	(none)	
MASTER BATH WATER CLOSET	9'	(none)	
MASTER BEDROOM	9'	(none)	
MASTER BEDROOM CLOSET	9'	(none)	
PANTRY	9'	(none)	
POWDER	9'	(none)	
POWDER	9'	(none)	
STAIRS		(none)	
UTILITY	9'	(none)	
2ND FLOOR			
BATH 2	9'	(none)	
BEDROOM 2	9'	(none)	
BEDROOM 2 CLOSET	9'	(none)	
BEDROOM 3	9'	(none)	
BEDROOM 3 CLOSET	9'	(none)	
LOFT	9'	(none)	

FLOORING SCHEDULE		
Room	Type Comments	Area
Flooring - Carpet & Pad		
Bedroom 2	CARPET	159 SF
Bedroom 2 Closet	CARPET	18 SF
Bedroom 3	CARPET	167 SF
Bedroom 3 Closet	CARPET	26 SF
Family Room	CARPET	226 SF
Loft	CARPET	275 SF
Master Bedroom	CARPET	206 SF
Master Bedroom Closet	CARPET	57 SF
Stairs	CARPET	52 SF
Stairs	CARPET	52 SF
		1239 SF
Flooring - Ceramic Tile		
Bath 2	CERAMIC TILE	42 SF
Breakfast	CERAMIC TILE	118 SF
Foyer	CERAMIC TILE	54 SF
Hall 1	CERAMIC TILE	25 SF
Hall 1 Closet	CERAMIC TILE	8 SF
Kitchen	CERAMIC TILE	109 SF
Master Bath	CERAMIC TILE	50 SF
Master Bath Water Closet	CERAMIC TILE	14 SF
Pantry	CERAMIC TILE	10 SF
Powder	CERAMIC TILE	8 SF
Powder	CERAMIC TILE	37 SF
Utility	CERAMIC TILE	43 SF
		518 SF



1 1ST FLOOR ROOM FINISH PLAN
1/8" = 1'-0"



2 2ND FLOOR ROOM FINISH PLAN
1/8" = 1'-0"

**NOTE: FLOORING LAYOUT
SHOWN IS FOR ILLUSTRATION
PURPOSES ONLY.
SEE OPTIONS ADDENDUM
FOR JOB SPECIFIC LAYOUT.**

FINAL PLANS

4031

GOLIAD A

FC- 9/10/2019 - MD

RD- 03/17/2019 - SL

PERMIT- 05/12/2020 - SL

CHKOUT- 04/27/2020 - ZO

The measurements, dimensions, and other specifications shown on this document are guidelines for construction use only. The actual specifications of the finished structure may vary. This document may not be relied on as representation of what the completed structure will look like.

TILSON

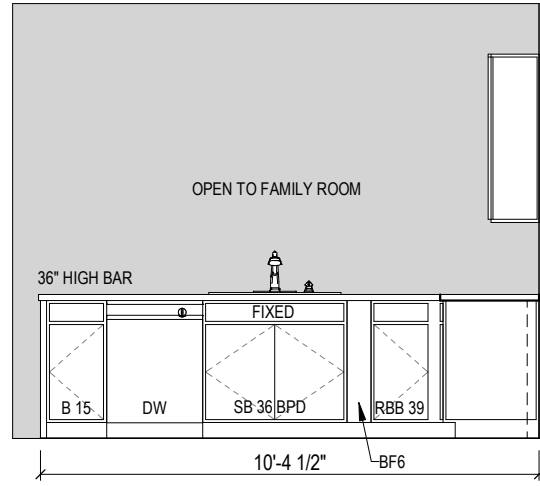
CUSTOM HOME BUILDERS

MR. MAJOR RUSH

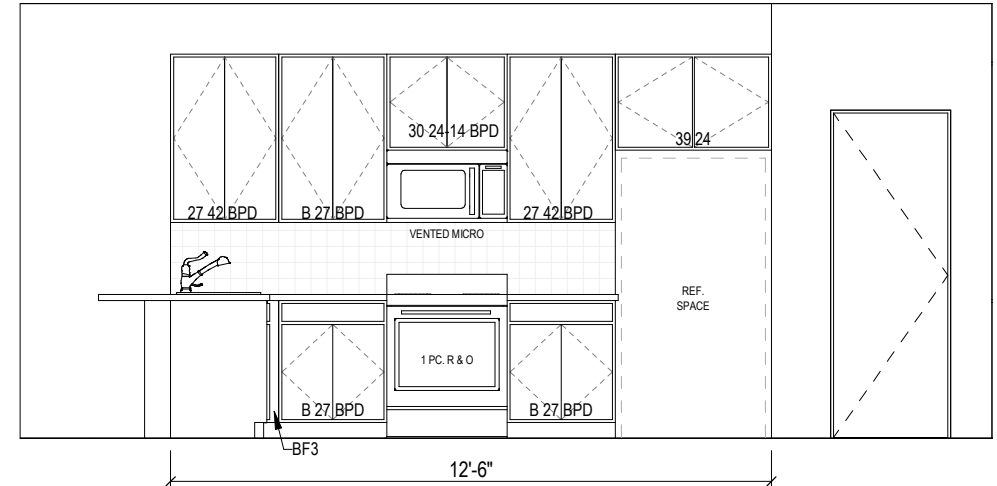
Job #1194397

Rockwall County

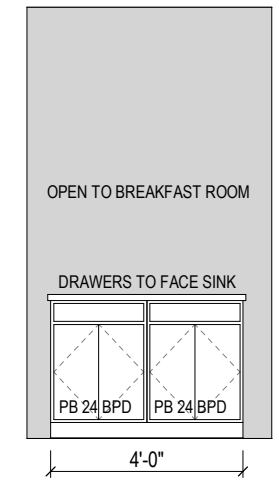
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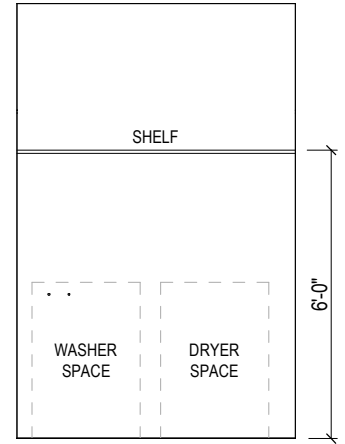
1 **KITCHEN - SINK WALL**
1/4" = 1'-0"



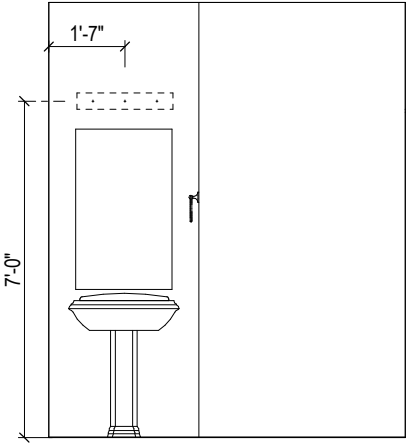
2 **KITCHEN - RANGE WALL**
1/4" = 1'-0"



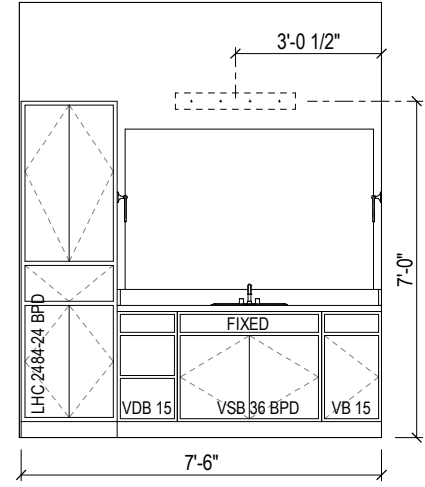
3 **KITCHEN ISLAND**
1/4" = 1'-0"



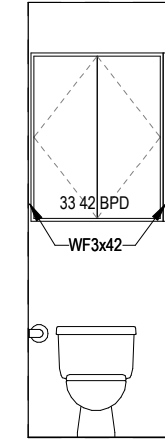
4 **UTILITY**
1/4" = 1'-0"



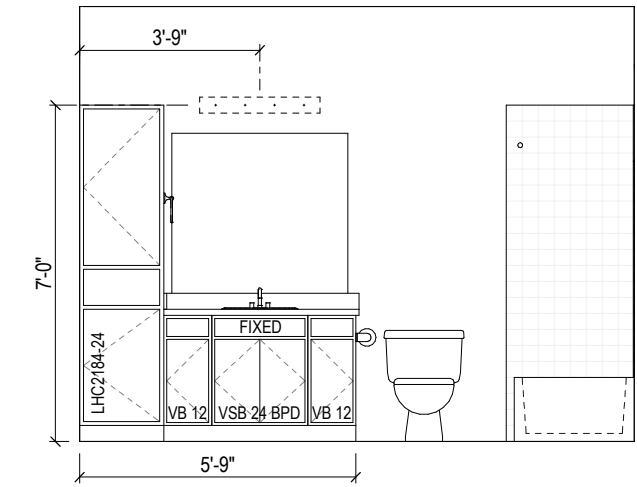
5 **POWDER**
1/4" = 1'-0"



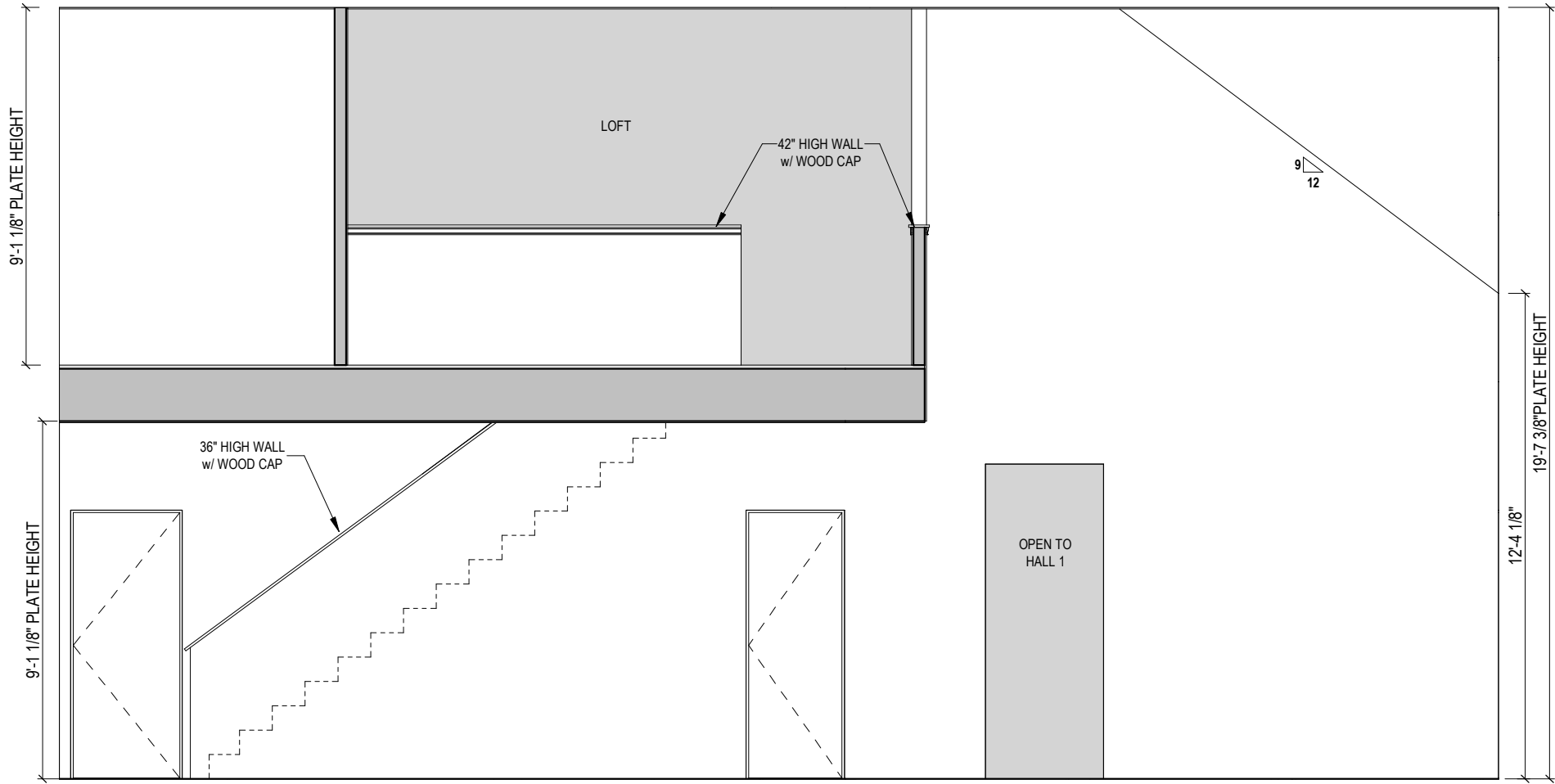
6 **MASTER BATH**
1/4" = 1'-0"



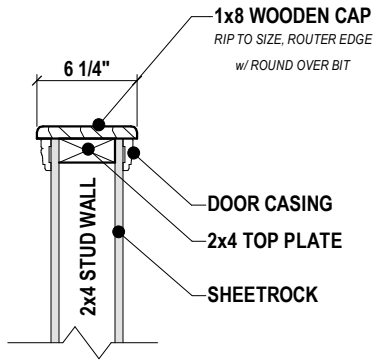
7 **MASTER BATH - WC**
1/4" = 1'-0"



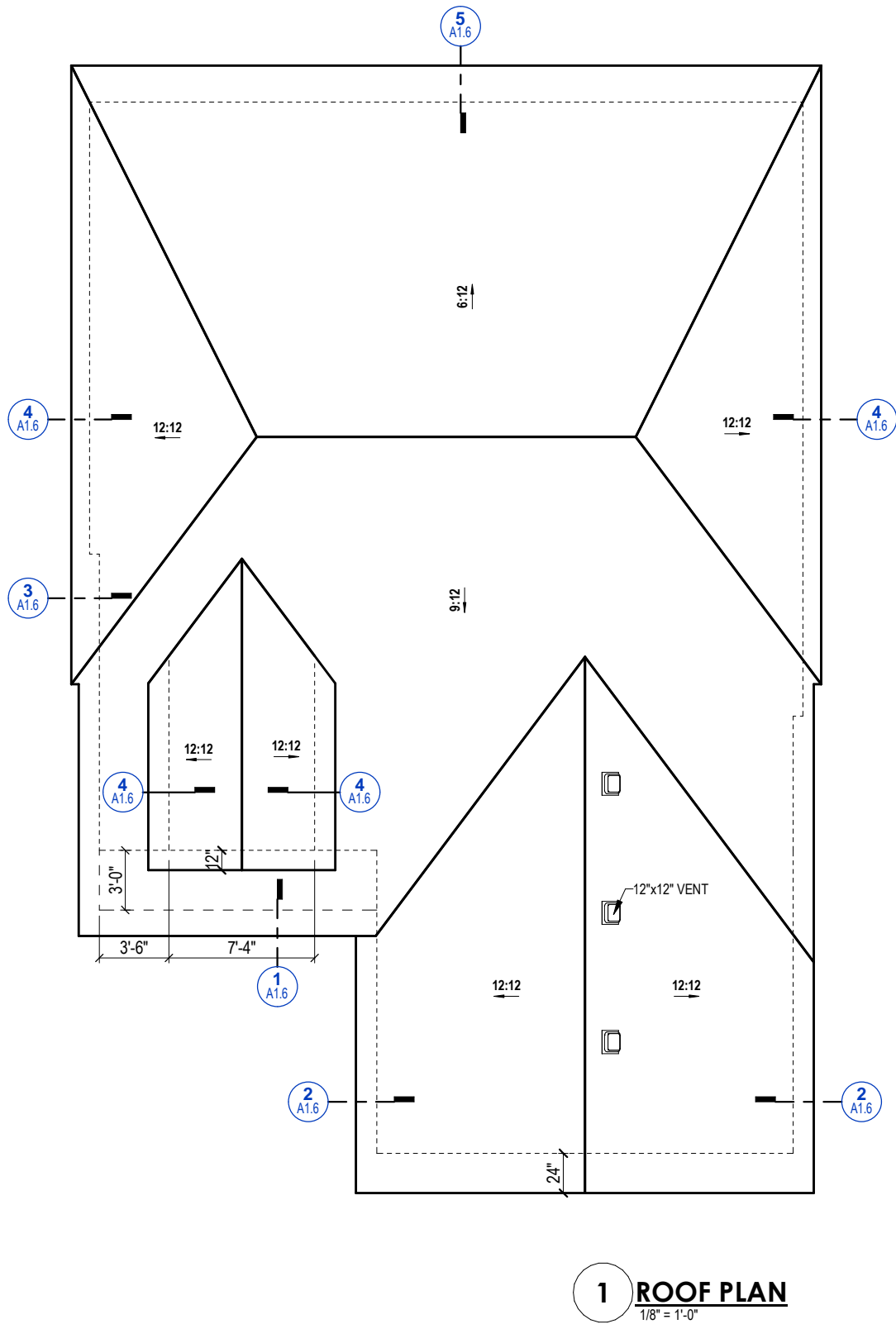
8 **BATH 2**
1/4" = 1'-0"



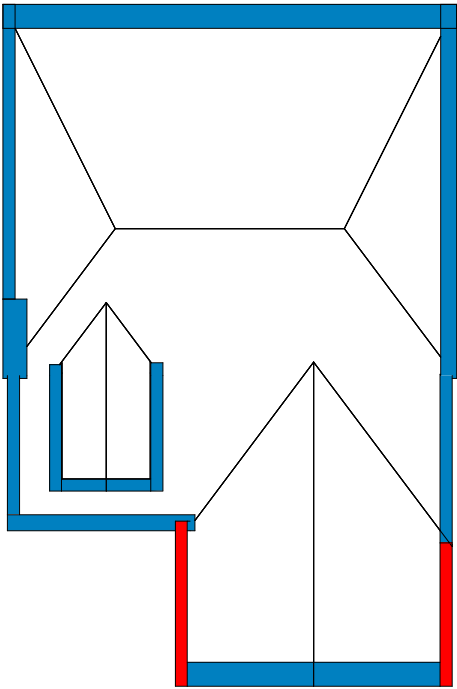
9 STAIR WALL
1/4" = 1'-0"



KNEE WALL DETAIL



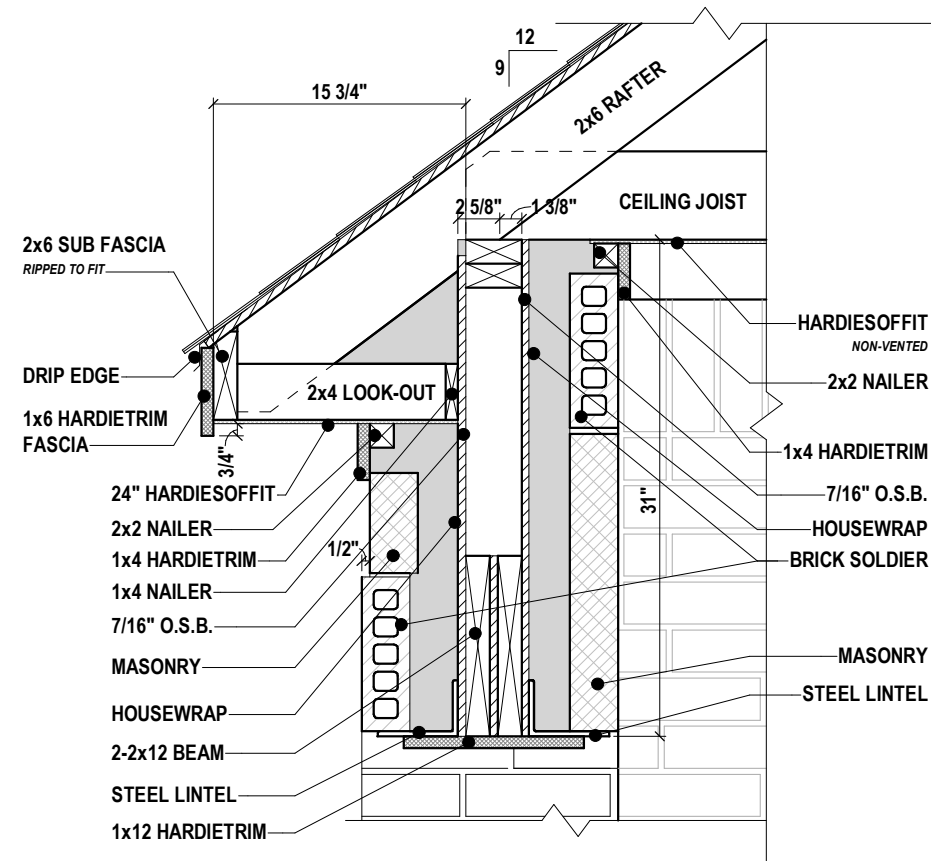
1 ROOF PLAN
1/8" = 1'-0"



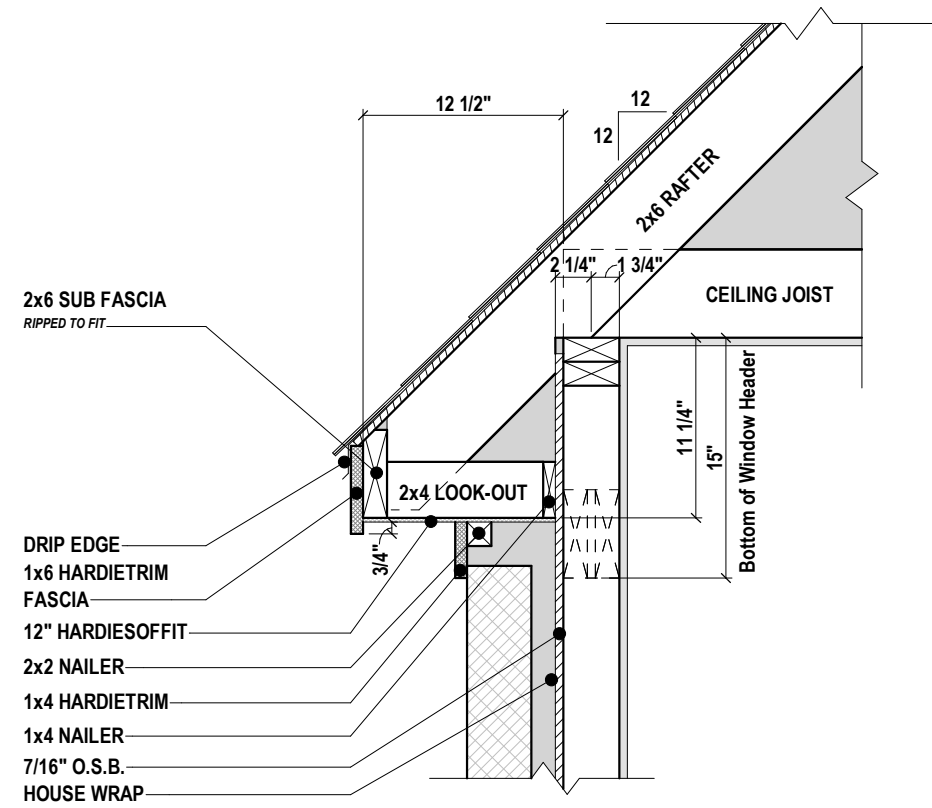
2 SOFFIT PLAN
1/16" = 1'-0"

SOFFIT LEGEND

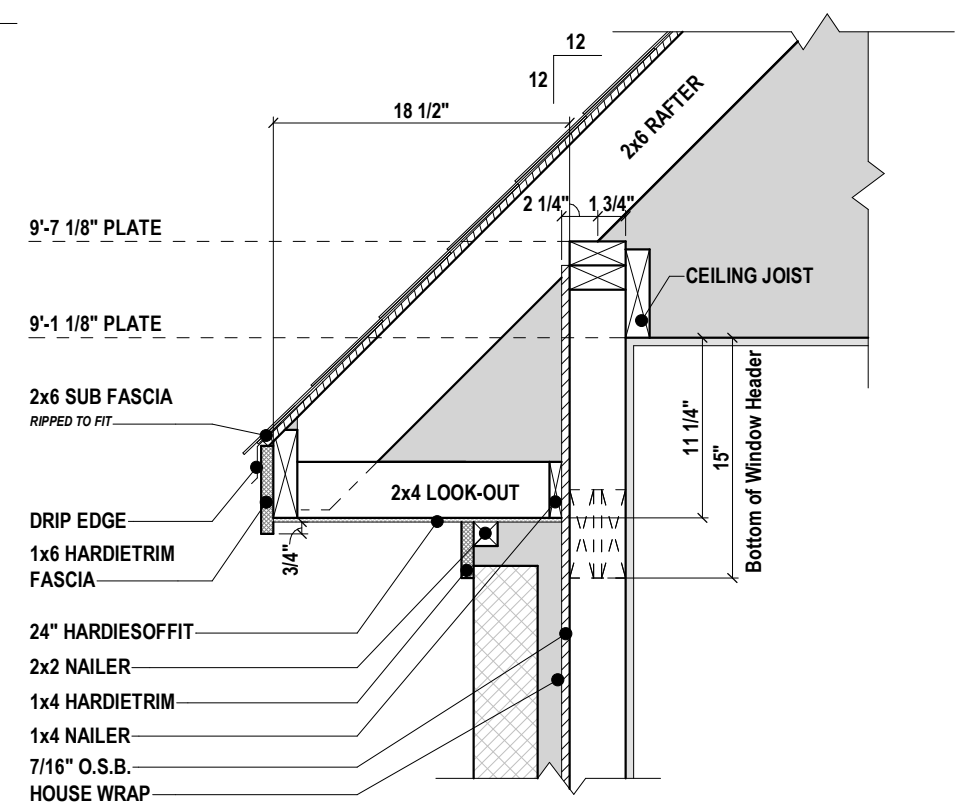
- VENTED SOFFIT
- NON VENTED SOFFIT



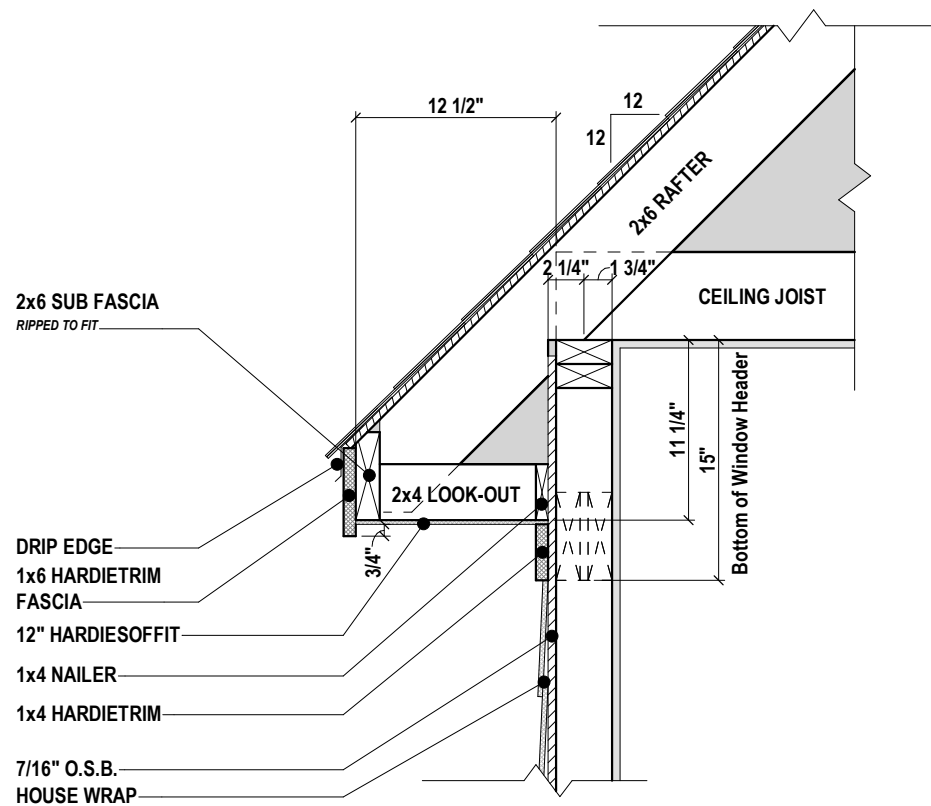
1 FRONT PORCH CORNICE
1" = 1'-0"



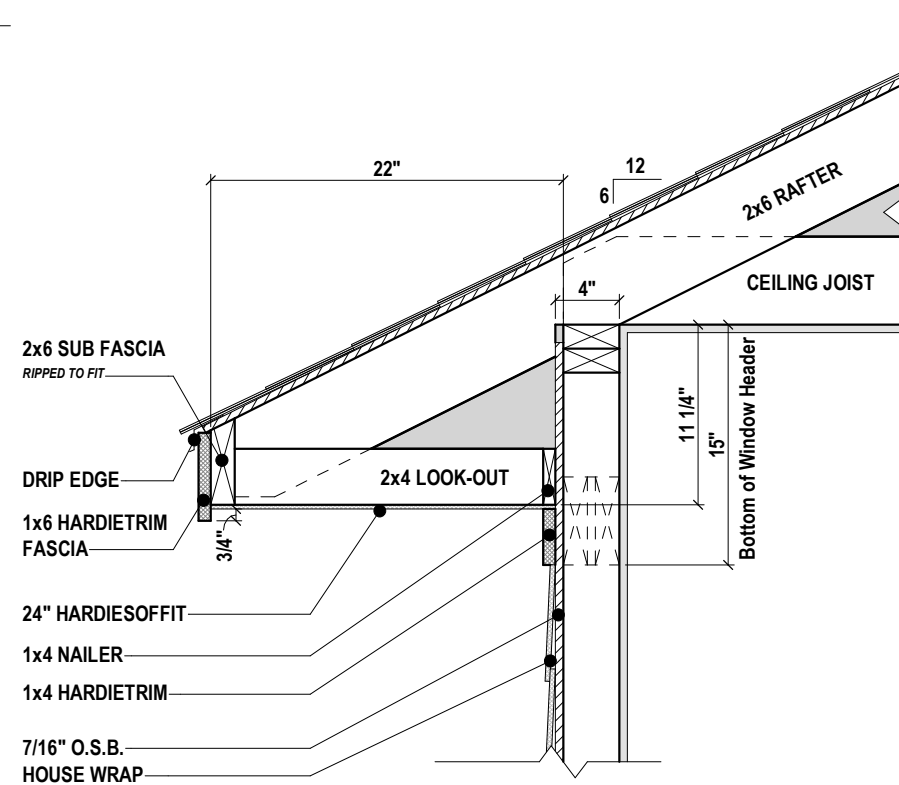
2 12-12 MASONRY CORNICE
1" = 1'-0"



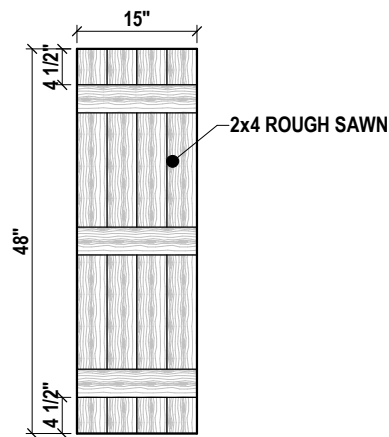
3 12-12 MASONRY CORNICE
1" = 1'-0"



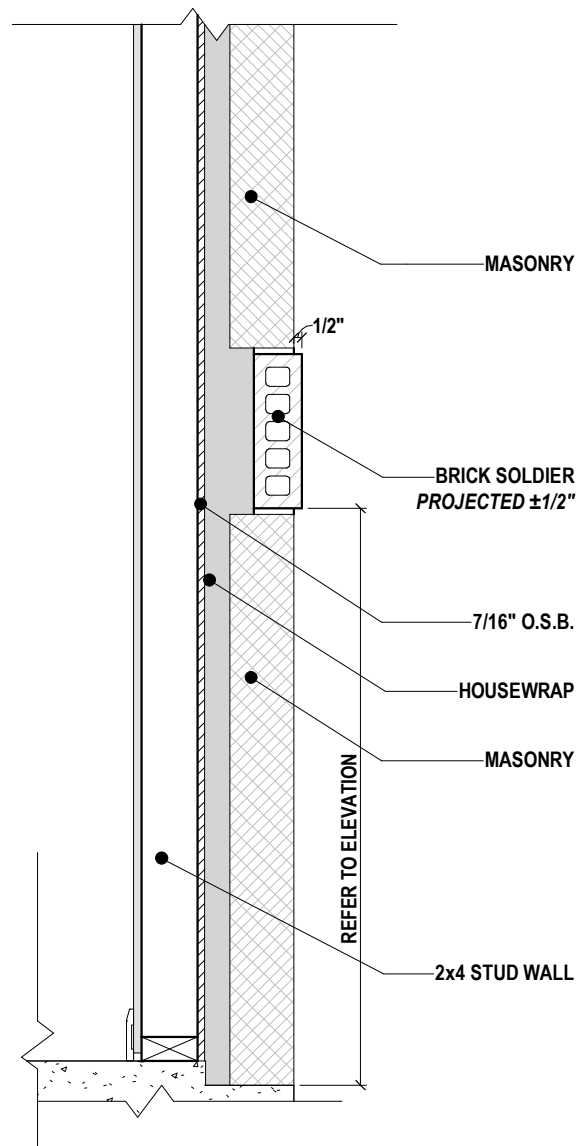
4 12-12 CORNICE
1" = 1'-0"



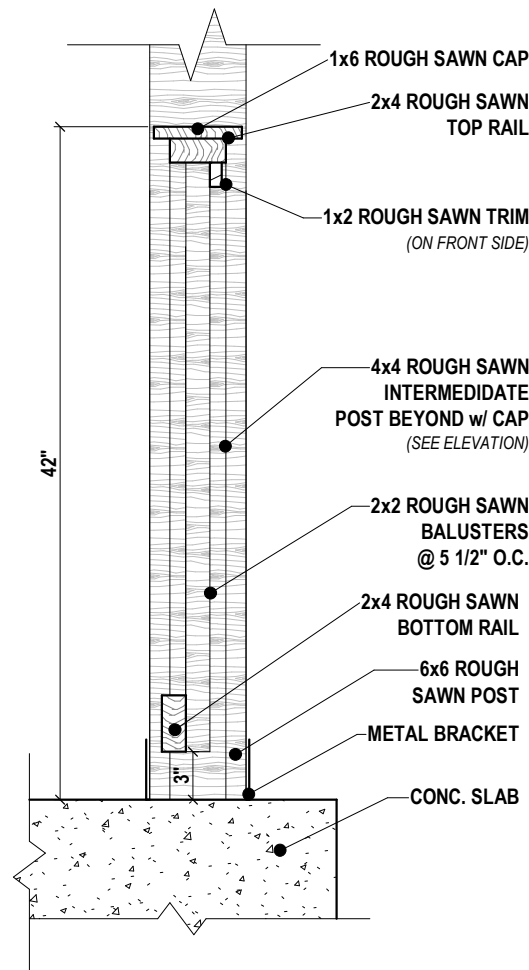
5 6-12 CORNICE
1" = 1'-0"



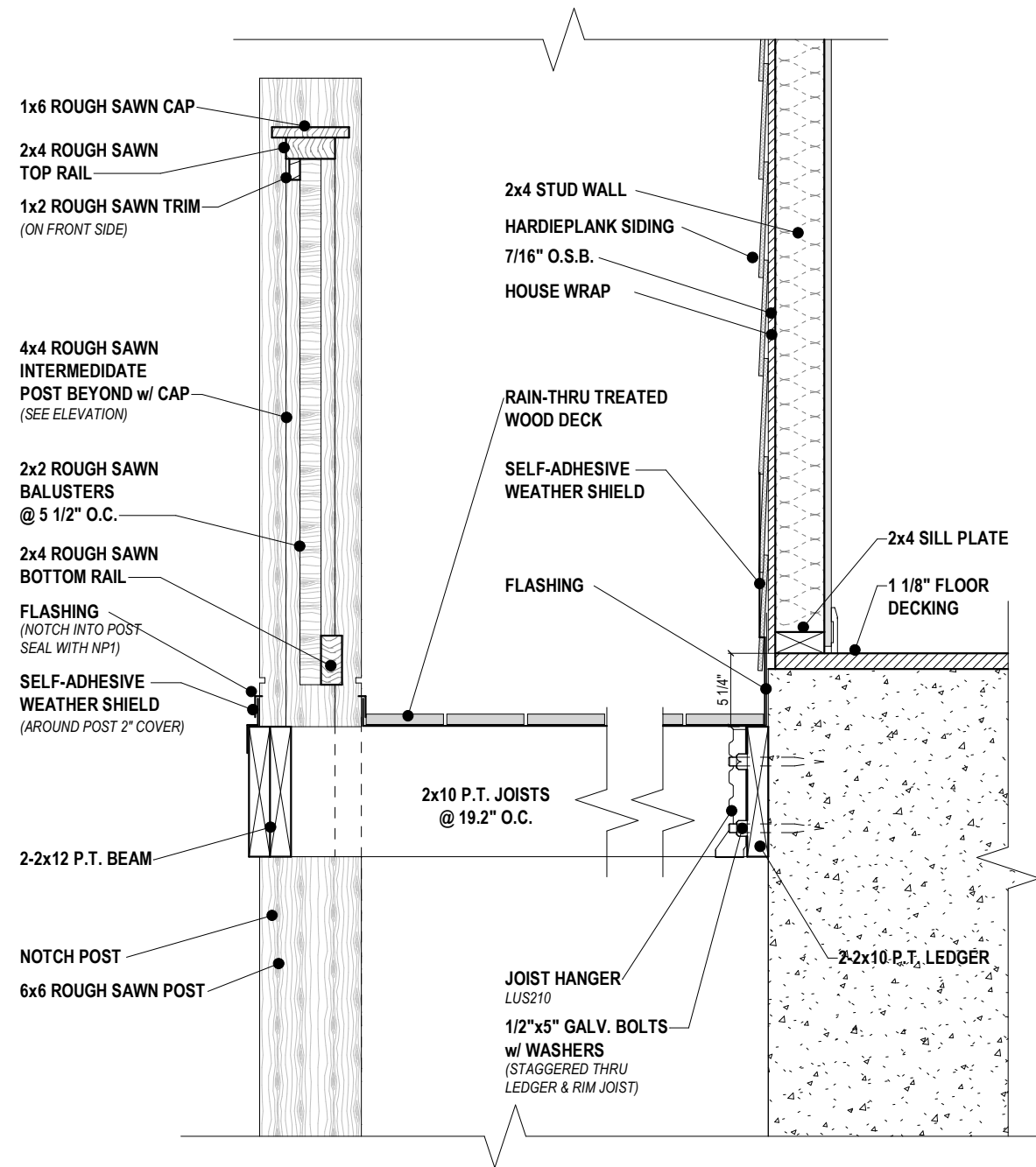
6 SHUTTER DETAIL
1/2" = 1'-0"



7 BRICK SOLDIER DETAIL
1" = 1'-0"



8 CONCRETE PORCH RAIL DETAIL
1" = 1'-0"



9 WALK - OUT DECK DETAIL
1" = 1'-0"

Adjacent Housing Attributes

Source: RCAD

Address	Year Built	Living Area	Accessory Building SF	Exterior Materials
102 Mischief Lane	2000	2,654	-	Brick and HardiBoard
104 Mischief Lane	1990	2,097	-	Brick and Stone
105 Mischief Lane	2001	2,063	-	Brick
106 Mischief Lane	1995	2,295	-	Brick and Siding
108 Mischief Lane	2003	4,000	-	Brick and Stone
109 Mischief Lane	1994	2,550	-	Brick and Siding
110 Mischief Lane	N/A	N/A	N/A	N/A
112 Mischief Lane	2015	3,613	-	Brick and Stone
114 Mischief Lane	2005	3,120	-	Brick and Stone
116 Mischief Lane	2003	2,302	160	Brick and Siding
118 Mischief Lane	N/A	N/A	N/A	N/A
120 Mischief Lane	2012	2,592	-	Brick and Stone
122 Mischief Lane	2006	2,325	-	Brick and Stone
124 Mischief Lane	2006	2,854	-	Brick and Stone
125 Mischief Lane	2016	3,406	-	Brick and Stone
126 Mischief Lane	1995	3,124	-	Brick
127 Mischief Lane	2000	2,004	-	Brick and Siding
128 Mischief Lane	2002	2,357	-	Brick and Stone
129 Mischief Lane	1995	2,246	-	Brick, Stone and Siding
130 Mischief Lane	2015	3,146	-	Brick and Stone
131 Mischief Lane	2002	3,147	-	Brick and Siding
132 Mischief Lane	2005	2,664	-	Brick, Stone and Stucco
Averages:	2003	2,728		



102 Mischief Lane



104 Mischief Lane



105 Mischief Lane



106 Mischief Lane



108 Mischief Lane



109 Mischief Lane



110 Mischief Lane



112 Mischief Lane



114 Mischief Lane



116 Mischief Lane



118 Mischief Lane



120 Mischief Lane



122 Mischief Lane



124 Mischief Lane



125 Mischief Lane



126 Mischief Lane



127 Mischief Lane



128 Mischief Lane



129 Mischief Lane



130 Mischief Lane



131 Mischief Lane



132 Mischief Lane

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1637-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 12, BLOCK A, CHANDLER'S LANDING, PHASE 20, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Major Rush for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1637-acre parcel of land being described as Lot 12, Block A, Chandler's Landing, Phase 20, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 118 Mischief Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

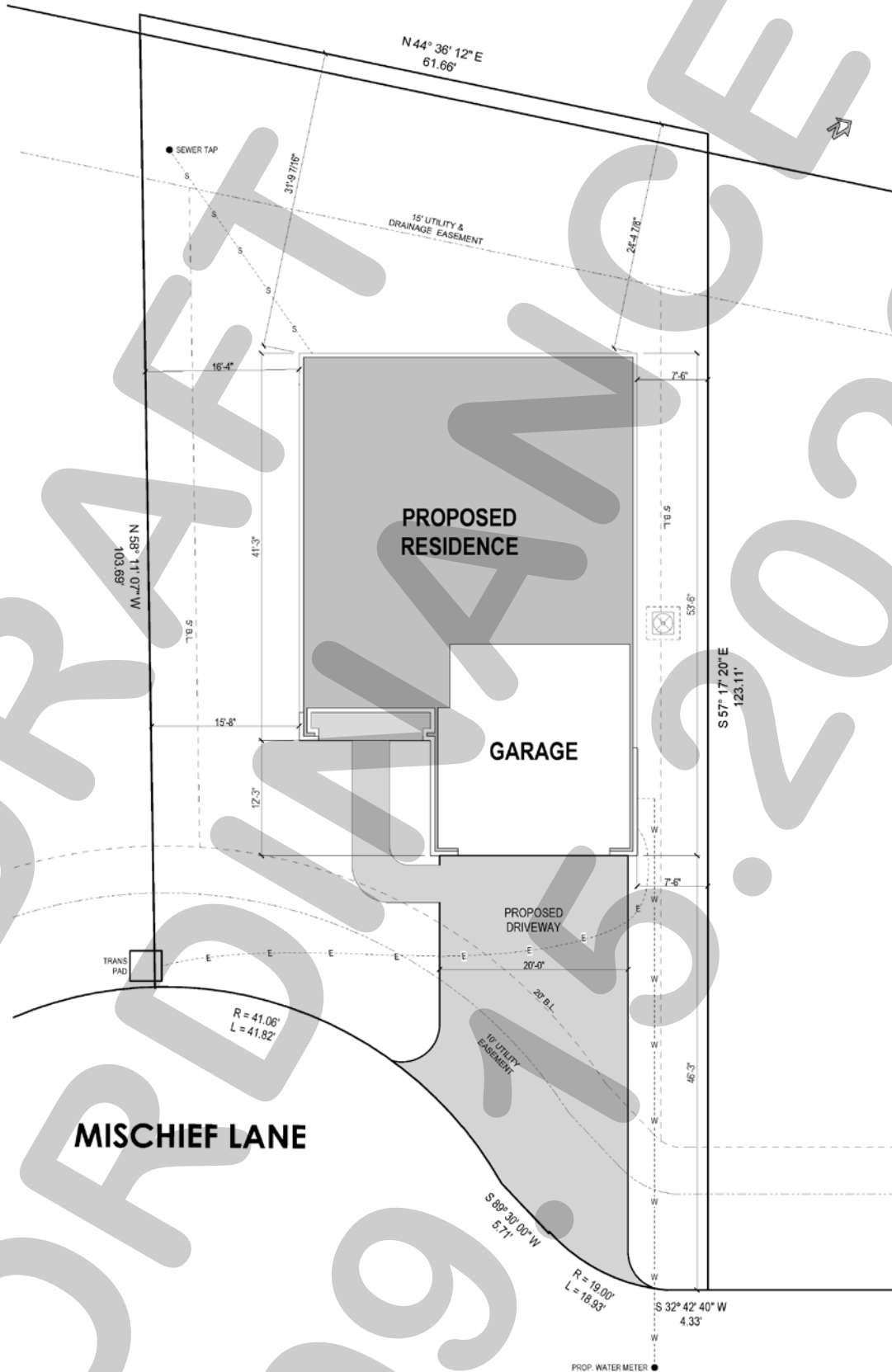
Exhibit 'A'
Location Map and Survey

Address: 118 Mischief Lane

Legal Description: Lot 12, Block A, Chandler's Landing, Phase 20



Exhibit 'B':
Residential Plot Plan

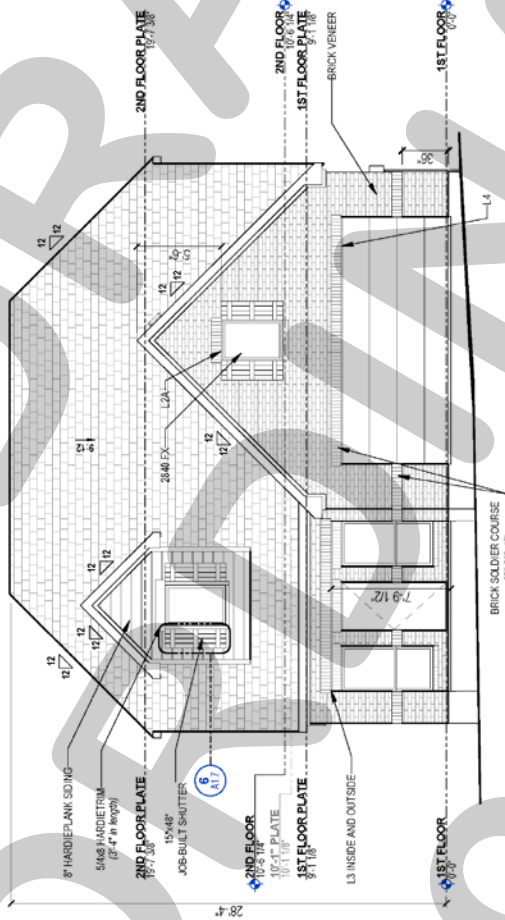


LOT 12, BLOCK A, CHANDLER'S LANDING PHASE 20
8 MISCHIEF LANE, ROCKWALL, TX. 75032

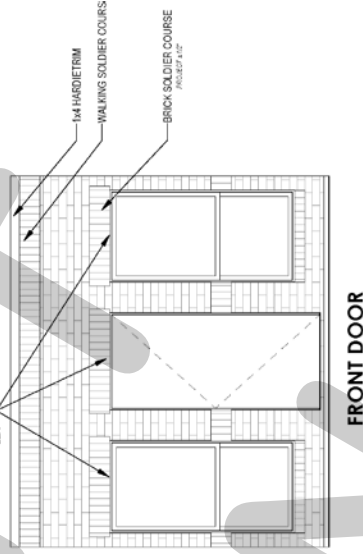
Z2020-034: SUP for 118 Mischief Lane
Ordinance No. 20-XX; SUP # S-2XX

Exhibit 'C': Building Elevations

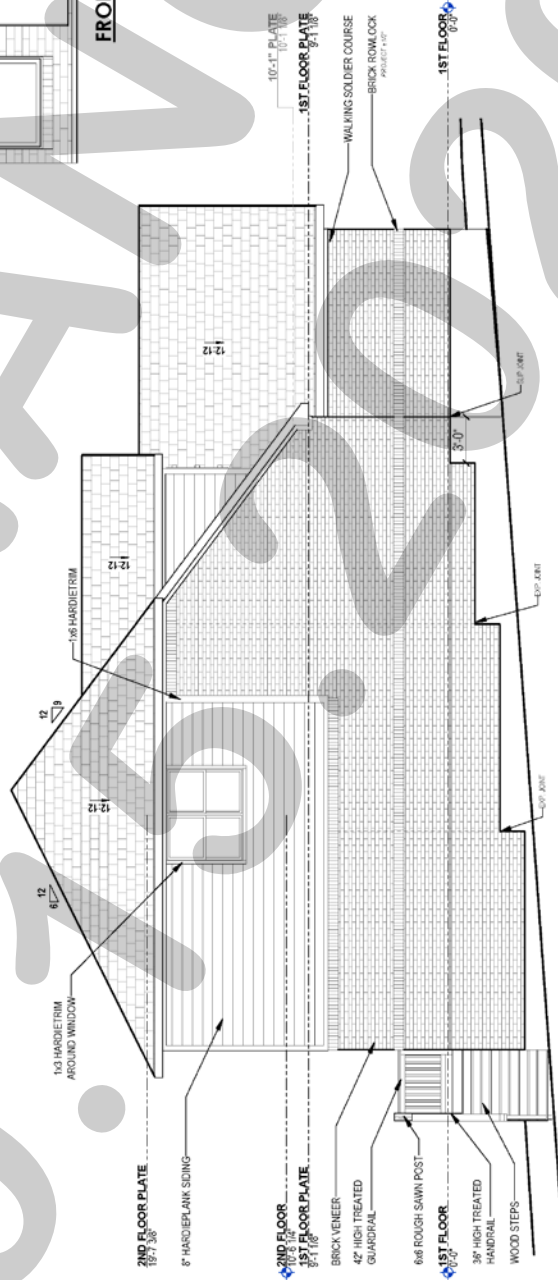
STEEL LINTEL SELECTION				
Type	Size	HEIGHT OF MASONRY ABOVE LINTEL		NOTES
		Up to 5'-0"	5'-1" to 20'	
L1	30x14"	6'-0"	4'-0"	3'-0"
L2	40x14"	8'-0"	6'-0"	4'-0"
L3	36x5/16"	14'-0"	9'-0"	4'-0"
L4	36x5/16"	18'-2"	13'-2"	7'-0"
L5	36x5/16"	14'-0"	9'-0"	18'-10" (slope required on slope 7:1 or greater)
Length of bearing shall not be less than 4"				



1 FRONT ELEVATION
18'-0" x 12'-0"



FRONT DOOR



2 LEFT ELEVATION
18'-0" x 12'-0"

1 REAR ELEVATION
18'0" x 17'0"

2 RIGHT ELEVATION
18'0" x 17'0"

1ST FLOOR
18'0" x 17'0"

2ND FLOOR
18'0" x 17'0"

3RD FLOOR
18'0" x 17'0"

4TH FLOOR
18'0" x 17'0"

5TH FLOOR
18'0" x 17'0"

6TH FLOOR
18'0" x 17'0"

7TH FLOOR
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8TH FLOOR
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9TH FLOOR
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10TH FLOOR
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11TH FLOOR
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12TH FLOOR
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13TH FLOOR
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14TH FLOOR
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15TH FLOOR
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16TH FLOOR
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19TH FLOOR
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20TH FLOOR
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21ST FLOOR
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22ND FLOOR
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23RD FLOOR
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29TH FLOOR
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30TH FLOOR
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31ST FLOOR
18'0" x 17'0"

32ND FLOOR
18'0" x 17'0"

33RD FLOOR
18'0" x 17'0"

34TH FLOOR
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35TH FLOOR
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37TH FLOOR
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38TH FLOOR
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39TH FLOOR
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40TH FLOOR
18'0" x 17'0"

41ST FLOOR
18'0" x 17'0"

42ND FLOOR
18'0" x 17'0"

43RD FLOOR
18'0" x 17'0"

44TH FLOOR
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45TH FLOOR
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46TH FLOOR
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47TH FLOOR
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48TH FLOOR
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49TH FLOOR
18'0" x 17'0"

50TH FLOOR
18'0" x 17'0"

51ST FLOOR
18'0" x 17'0"

52ND FLOOR
18'0" x 17'0"

53RD FLOOR
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54TH FLOOR
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55TH FLOOR
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56TH FLOOR
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57TH FLOOR
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58TH FLOOR
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59TH FLOOR
18'0" x 17'0"

60TH FLOOR
18'0" x 17'0"

61ST FLOOR
18'0" x 17'0"

62ND FLOOR
18'0" x 17'0"

63RD FLOOR
18'0" x 17'0"

64TH FLOOR
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65TH FLOOR
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66TH FLOOR
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67TH FLOOR
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68TH FLOOR
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69TH FLOOR
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70TH FLOOR
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71ST FLOOR
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72ND FLOOR
18'0" x 17'0"

73RD FLOOR
18'0" x 17'0"

74TH FLOOR
18'0" x 17'0"

75TH FLOOR
18'0" x 17'0"

76TH FLOOR
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77TH FLOOR
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78TH FLOOR
18'0" x 17'0"

79TH FLOOR
18'0" x 17'0"

80TH FLOOR
18'0" x 17'0"

81ST FLOOR
18'0" x 17'0"

82ND FLOOR
18'0" x 17'0"

83RD FLOOR
18'0" x 17'0"

84TH FLOOR
18'0" x 17'0"

85TH FLOOR
18'0" x 17'0"

86TH FLOOR
18'0" x 17'0"

87TH FLOOR
18'0" x 17'0"

88TH FLOOR
18'0" x 17'0"

89TH FLOOR
18'0" x 17'0"

90TH FLOOR
18'0" x 17'0"

91ST FLOOR
18'0" x 17'0"

92ND FLOOR
18'0" x 17'0"

93RD FLOOR
18'0" x 17'0"

94TH FLOOR
18'0" x 17'0"

95TH FLOOR
18'0" x 17'0"

96TH FLOOR
18'0" x 17'0"

97TH FLOOR
18'0" x 17'0"

98TH FLOOR
18'0" x 17'0"

99TH FLOOR
18'0" x 17'0"

100TH FLOOR
18'0" x 17'0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: September 15, 2020

APPLICANT: Allen Anderson, Adlor Enterprises, LLC

CASE NUMBER: Z2020-035; *Specific Use Permit for a Restaurant, 2,000 SF or More, with a Drive-Through at 902 & 906 S. Goliad Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or More with a Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The subject property is considered to be a part of the Old Town, and was annexed prior to 1934 based on the August 25, 1934 Sanborn Maps. According to the January 3, 1972 zoning map, the subject property was zoned Single-Family 2 (SF-2) District. At some point between January 3, 1972 and May 16, 1983, the subject property was rezoned to a Single-Family 10 (SF-10) District according to the 1983 zoning map. The subject property retained the Single-Family 10 (SF-10) District zoning designation until September 6, 2005 when the City Council approved Planned Development District 62 (PD-62) by adopting *Ordinance No. 05-42 [Case No. Z2005-031]*. This Planned Development District re-designated the subject property for General Retail (GR) District land uses. In addition, the Planned Development District also re-designated the 0.7329-acre tract of land directly west of the subject property for Zero Lot Line (ZL-5) District land uses. At the time of the zoning change, situated on the 0.7329-acre tract of land was an existing 2,773 SF single-family home that was constructed in 1980. This tract of land, along with the subject property, were platted into Lots 1-3, Block A (*i.e. the 0.7329-acre tract of land*) and Lot 1, Block B (*i.e. the subject property*), Jack Canup Addition (*Case No. P2006-040*), which was filed with Rockwall County on April 11, 2007. The two (2) undeveloped lots west of the subject property (*i.e. Lots 1 & 2, Block A*) were developed with single-family homes in 2016. The subject property was vacant at the time the area was rezoned to Planned Development District 62 (PD-62), and has remained vacant since.

PURPOSE

The applicant -- *Allen Anderson* -- is requesting the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or More with a Drive-Through/Drive-In* to allow the development of a restaurant (*i.e. Taco Bell*) on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 902 & 906 S. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is W, Bourn Avenue, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this roadway is a 1.8046-acre parcel of land (*i.e. Lot 14, Block M, Sanger Addition*) that serves as an overflow parking lot for the First Baptist Church of Rockwall. The parking lot is zoned General Retail (GR) District. West of this land use, and northwest of the subject property, are eight (8) single-family homes (*i.e. Lots 6-13, Block M, Sanger Addition*) that are zoned Zero Lot Line (ZL-5) District.

South: Directly south of the subject property is a 15-foot undeveloped alleyway. Beyond this are 13 single-family residential lots (*i.e. Lots 1-6, Block 1 and Lots 1-7, Block 2, L&W Addition*) with 12 single-family homes situated on them. All of these properties are zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is the beginning of the S. Goliad Street [SH-205]/Ridge Road [FM-740] split, where a portion of S. Goliad Street proceeds south and a portion of the street splits and turns into Ridge Road. Ridge Road is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) and S. Goliad Street is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are five (5) parcels of land (*i.e. Lots 1-5, Block A, Canup Addition*) that have two (2) buildings situated on them (*i.e. Mattress Depot and Rockwall Floor Covering*). These five (5) parcels of land are zoned Commercial (C) District.

West: Directly west of the subject property is a 20-foot alleyway that is partially developed. Beyond this are three (3) single-family, residential lots (*i.e. Lots 1-3, Block A, Jack Canup Addition*) with three (3) single-family homes situated on them. These properties are zoned Planned Development District 62 (PD-62) for Zero Lot Line (ZL-5) District land uses. Beyond these parcels of land is S. Alamo Street, which is designated as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) single-family residential lots (*i.e. Lots 1-4, Block A and Lots 1-2, Block B, John Spong Subdivision #1*) with five (5) single-family homes situated on them. These lots are followed by the Lake Meadows Subdivision, which consists of 26 residential lots that were established in 1968. All of these properties are zoned Single-Family 10 (SF-10) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the layout of a 2,053 SF restaurant with a drive-through on the subject property. Based on the concept plan the building will be oriented so that the drive-through and *bailout* lanes will be adjacent to S. Goliad Street. The *food delivery/payment window* will also be located adjacent S. Goliad Street, with the *restaurant ordering board* (*i.e. the point of order*) being oriented toward the southern property line. It should be noted that the *restaurant ordering board* is ~101-feet from the closest residential property line to the south, and ~173-feet from the closest residential property line to the west. The concept plan also depicts five (5) vehicles being able to be cued from the *restaurant ordering board* to the *food delivery/payment window*, with one (1) vehicle being able to be cued behind the car at the *restaurant ordering board*. On the southside of the drive-through lane -- *in close proximity to the restaurant ordering board* -- is the loading zone, which is located ~72-feet from the closest residential property line to the south and ~114-feet from the closest residential property line to the west.

Ingress and egress for the property will be provided via a driveway off of S. Goliad Street and a driveway off of W. Bourn Street. Staff should note that the subject property currently has a driveway off of S. Goliad Street that is located in approximately the center of the subject property. The concept plan shows this driveway being moved further south on the subject property closer to the S. Goliad Street [SH-205]/Ridge Road [FM-740] split. The parking requirement for a *Full-Service Restaurant* (*i.e. a restaurant that provides indoor ordering, seating and dining*) is one (1) parking space per 100 SF of floor area. In this case, the parking requirement for the proposed restaurant would be 21 parking spaces. The concept plan shows the provision of 26 parking spaces and is over parked by four (4) spaces per the parking requirements. Along the southern and western property lines the applicant is proposing to construct a six (6) foot masonry wall with canopy trees being planted on 20-foot centers. The concept plan also shows a shrub row being provided adjacent to S. Goliad Street.

CONFORMANCE WITH THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Restaurant with 2,000 SF or More with a Drive-Through or Drive-In* land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. The purpose of requiring a Specific Use Permit (SUP) for this land use in a General Retail (GR) District is tied to the fact that this zoning designation is typically located directly adjacent to or in close proximity to single-family residentially zoned districts. According to the Unified Development Code (UDC), "(t)he General Retail (GR) District is a zoning district intended to provide limited retail and service uses for one (1) or more neighborhoods ... [i]t is not a major commercial/retail district and should try to avoid intensive commercial land uses that carry large volumes of retail traffic."

Based on the potential ability of the *Restaurant with 2,000 SF or More with a Drive-Through or Drive-In* land use to generate higher traffic volumes, this land use was identified as needing discretionary oversight from the Planning and Zoning Commission and City Council. More simply stated, this land use may not be appropriate on all properties zoned General Retail (GR) District. In addition, Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also requires the following land use conditions as part of the establishment of this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair the visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lands for drive-through service window (*i.e. the food delivery/payment window*) shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

In this case, the submitted site plan does show conformance to the minimum stacking requirements and provides shrubs along S. Goliad Street to help impair the visibility of headlights; however, the proposed concept plan shows the business making use of W. Bourn Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. This non-conformity would need to be considered as part of this request. Staff should also point out that additional landscaping may need to be provided at the corner of S. Goliad Street and W. Bourn Street to further impair the visibility of headlights on to W. Bourn Street. This can be determined on the *Landscape Plan* submittal with the *Site Plan*, and this requirement has been added to the operational conditions in the attached draft ordinance.

According to the *Residential Adjacency Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he residential adjacency standards shall apply when a use is proposed for a non-residential building or site that is adjacent to a residential district, and both of the following conditions apply: (a) An existing or proposed building, structure, or device on the lot is within 150-feet of a residential district boundary ... (b) One or more of the following uses are proposed: (2) Restaurants, including accessory outdoor seating, with drive-in or drive-through facilities." In this case, the subject property is directly adjacent to residentially zoned and used property on the southern and western boundaries. In addition, the building is 124-feet from the residentially zoned and used property to the south, and the *restaurant ordering board* -- which is defined as an individual service speaker and falls under devices -- is 101-feet from the residentially zoned and used property to the south. Based on this, the following *Residential Adjacency Standards* would apply:

- (1) Noise. Any use containing individual service speakers shall not be permitted within 150-feet of any residential district unless the speaker is appropriately screened and shall meet the standards established in Article IV, *Noise*, of Chapter 16, *Environment*, of the Municipal Code of Ordinances. The Planning and Zoning Commission may require wing walls, landscape screens, changes in building orientation, and/or other design elements to screen and minimize the impact of the individual service speakers.

In this case, it may be prudent for the Planning and Zoning Commission to require additional landscape screening directly south of *restaurant ordering board*; however, this would be a discretionary decision for the Planning and Zoning Commission. Staff has added this as a condition of approval for the consideration of the Planning and Zoning Commission.

According to the City's *Engineering Standards of Design Manual*, the driveway along S. Goliad Street does not meet the minimum 200-foot spacing requirement; however, as previously stated the subject property currently has an existing driveway that is located in approximately the center of the eastern property line. The applicant's plan shows this driveway being widened and moved further south toward the S. Goliad Street [SH-205]/Ridge Road [FM-740] split. The total distance from the intersection of W. Bourn Street and S. Goliad Street [SH-205] and the new driveway would be 175-feet, and ~220-feet from the intersection of Glenn Avenue and Ridge Road [FM-740]. Staff should note that the driveway location does not meet the Texas Department of Transportation's (TXDOT's) requirements, which are 425-feet from any existing drive location. This will need to be appealed to TXDOT for approval of a variance, which they can issue at their discretion through the civil engineering process.

With the exception of these items the concept plan appears to meet the design requirements for the General Retail (GR) District. The submitted building elevations will be subject to review by the Architectural Review Board (ARB) at the time of site plan; however, the elevations are being tied down in the draft ordinance to ensure that no major changes will be made if the City Council chooses to approve the applicant's request.

STAFF ANALYSIS

When this request was originally reviewed, staff recommended to the applicant that they limit the hours of operation to 7:00 AM to 10:00 PM due to the close proximity of the restaurant to residential properties. This has typically been done in areas where a higher intensity commercial use (*e.g. a fast food restaurant with drive-through/drive-in*), requires a Specific Use Permit (SUP), and is directly adjacent to -- *and/or within 150-feet of* -- a residentially zoned or used property. A good example of this would be the Specific Use Permits (SUPs) that have been approved in the N. Goliad Street area north of the Downtown (DT) District. In this case, a representative of the applicant indicated at the work session that the proposed restaurant would have similar hours as the other location on Ridge Road [FM-740], which are 9:30 AM - 3:00 AM on Fridays and Saturdays, and 9:30 AM - 2:00 AM on Mondays through Thursdays.

Another suggestion from staff was to increase the required screening adjacent to the residential areas due to the close proximity of the proposed restaurant to the existing residential properties to the south and west. This was also driven by the *Residential Adjacency Standards* that ask for increased screening -- *that is above and beyond the ordinance requirements* -- to help mitigate the impact of a commercial business that is within 150-feet of a residential property. The following is a breakdown of the distances for structures referenced in the *Residential Adjacency Standards* as proposed by the applicant's concept plan:

	Residential Properties to the West	Residential Properties to the South
Restaurant Building	156-feet	124-feet
Restaurant Ordering Board	173-feet	101-feet
Loading Zone	114-feet	72-feet
Drive Through Cueing Lane	70-feet and 131-feet	87-feet

Based on this information staff requested that the applicant provide an exhibit showing the increased screening that was being proposed, and requested that the applicant consider increasing the height of the proposed masonry wall to eight (8) feet. The returned concept plan shows conformance to the minimum standard, which is a six (6) foot masonry wall with canopy trees (*a minimum of four [4] caliper inches*) being provided on 20-foot centers. Staff should note that no additional screening or sound attenuation was provided.

Should the Planning and Zoning Commission choose to recommend approval of the applicant's request staff has included conditions of approval requiring a Traffic Impact Analysis (TIA), Noise Study, and additional landscaping at the intersection of S. Goliad Street and W. Bourn Street, and approval of a variance from the Texas Department of Transportation (TXDOT) for the widening and moving of the driveway along S. Goliad Street. In addition, the Planning and Zoning Commission has the discretion to require additional landscaping south of the *restaurant ordering board* and adjacent to the residential homes along the southern and western property lines per the *Residential Adjacency Standards*. Based on staff's review of the submitted concept plan it appears that this site would warrant consideration of additional landscape screening. As a result, staff has included these as conditions of approval in the below case memo. It may also be appropriate for the Planning and Zoning Commission -- *if choosing to recommend approval of this request* -- to establish hours of operation, in the Specific Use Permit (SUP) ordinance, that are more suitable for residential adjacency than the hours of operation indicated by the applicant during the work session; however, since the applicant has requested that these be removed from the draft ordinance staff has not included them as an operational condition or a condition of approval. If the Planned and Zoning Commission chooses to recommend hours of operation, this would need to be indicated in a motion. With all this being said, a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On August 15, 2020, staff mailed 107 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Stonebridge Meadows Homeowners Association (HOA), which is the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program (*the Highridge Estates Homeowners Association [HOA] is listed on the notification map, but has not provided contact information*). Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 17 responses (*i.e.*

one [1] online notification form, seven [7] notices, seven [7] emails and two [2] letters) from 15 property owners in opposition to the applicant's request and two (2) notices from one (1) property owner in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant (*i.e. Taco Bell*), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit 'B' of this ordinance.
 - (b) The construction of a Restaurant, 2,000 SF or More, with a Drive Through or Drive-In on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
 - (c) A minimum of a six (6) foot masonry wall (constructed with materials matching the primary structure) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
 - (d) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.
- (2) Concurrently with the submittal of a site plan the applicant shall submit a *Noise Study* showing that no potential impacts will be created by the construction of the restaurant to the existing single-family homes situated along the southern and western property lines.
- (3) A Traffic Impact Analysis (TIA) shall be submitted and reviewed by the City of Rockwall prior to accepting a site plan application for the subject property.
- (4) A variance request will be approved by the Texas Department of Transportation (TXDOT) prior to the acceptance of a site plan application.
- (5) Additional trees, bushes, and shrubs will be required at: [1] the corner of S. Goliad Street and W. Bourn Street; [2] adjacent to the masonry wall along the southern and western property boundaries (*i.e. adjacent to the residential adjacency*), and [3] south of the *restaurant ordering board*. These will be required to be shown on the landscape plan submitted with the site plan.
- (6) The approval of this Specific Use Permit (SUP) will waive the conditional land use standard stipulated by Subsection 02.02(F)(10)(a) of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), stating that "(d)rive-through lanes shall not have access to a local residential street."
- (7) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-035

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 906 S. Goliad St

Subdivision Jack Canup Addition

Lot 1 Block B

General Location Southwest Corner of S. Goliad St & Bourn St

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-62

Current Use Vacant

Proposed Zoning PD-62

Proposed Use Restaurant (>2,000sf) w/ drive-thru

Acreage 1.131

Lots [Current] 1

Lots [Proposed] 1

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner ADLOR ENTERPRISES, LLC

☐ Applicant

Contact Person ALLEN ANDERSON

Contact Person

Address 1208 S. LAKE SHORE DR

Address

City, State & Zip ROCKWALL, TX 75087

City, State & Zip

Phone 214 538-2209

Phone

E-Mail AAINTX@MSN.COM

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared ALLEN ANDERSON [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 216.97, to cover the cost of this application, has been paid to the City of Rockwall on this the 8 day of 14, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

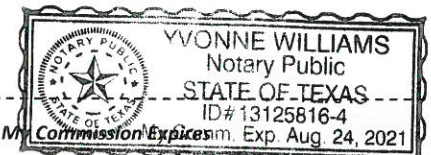
Given under my hand and seal of office on this the 8 day of 14, 20 20.

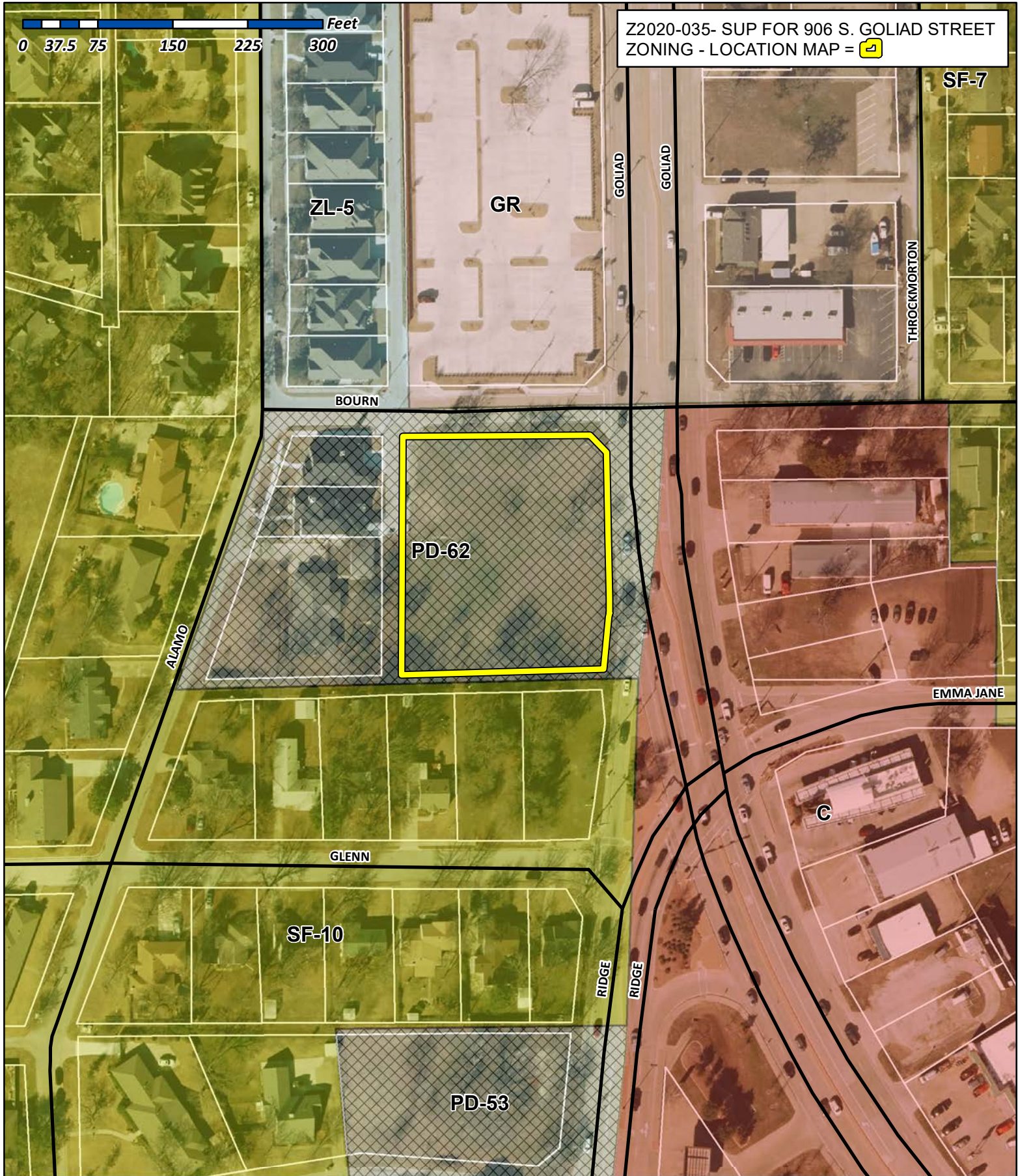
Owner's Signature

[Signature]

Notary Public in and for the State of Texas

[Signature]





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

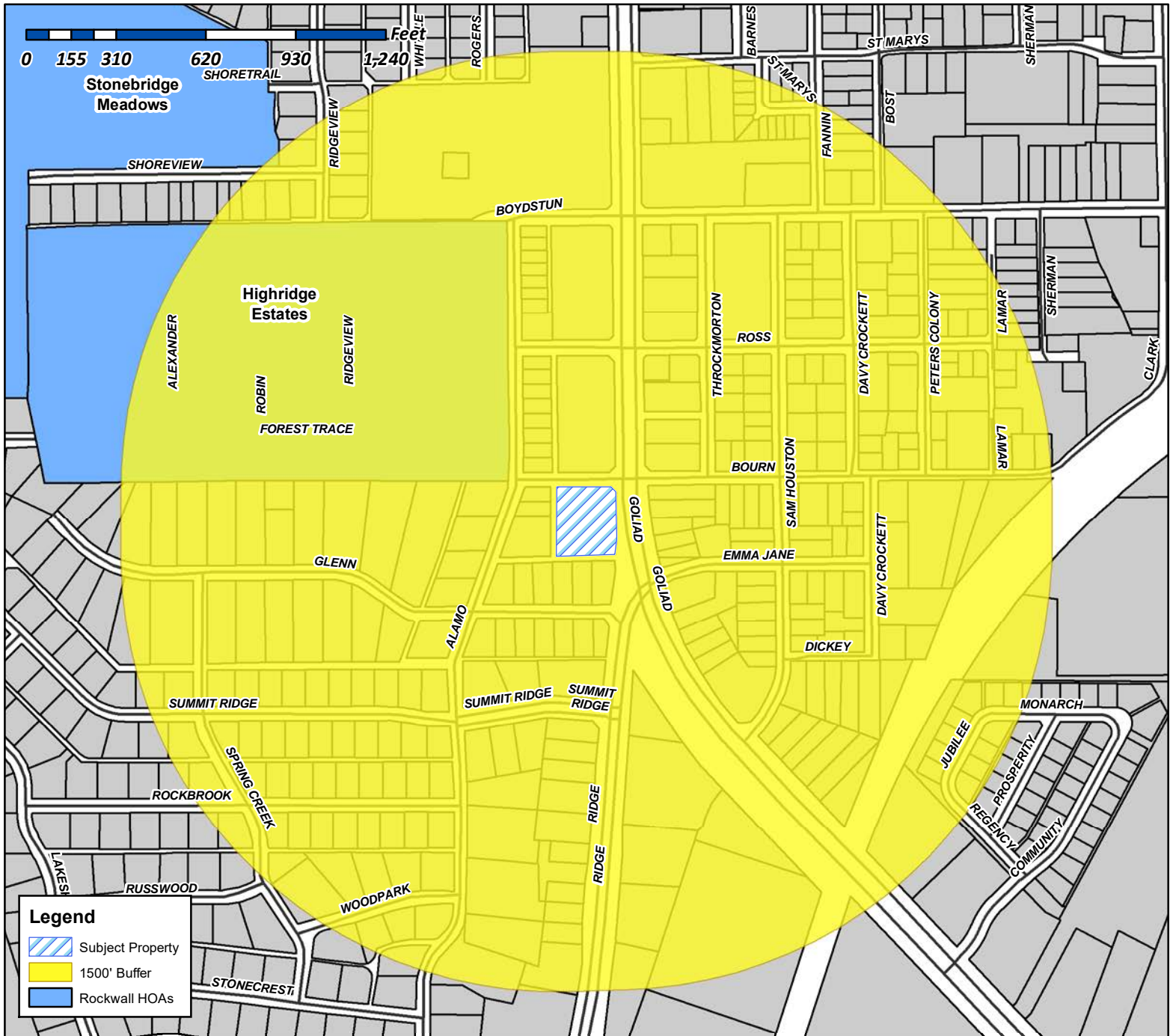




City of Rockwall

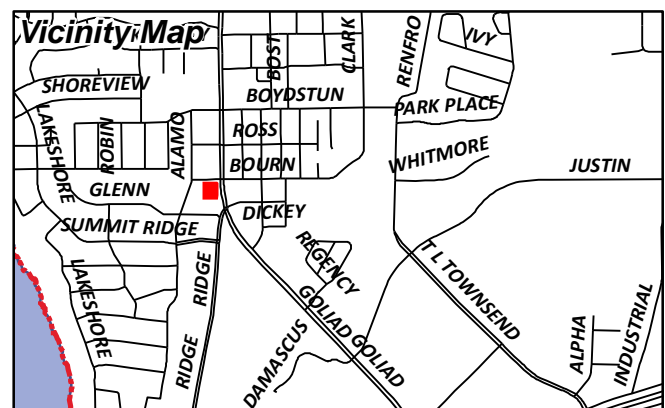
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Case Number: Z2020-035
Case Name: SUP for 906 S. Goliad Street
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad Street

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program
Date: Thursday, September 3, 2020 9:07:30 AM
Attachments: [HOA Map \(08.14.2020\).pdf](#)
[Public Notice \(08.18.2020\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on [Friday, August 21, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, September 15, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, September 21, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-035 SUP for Restaurant at 906 S. Goliad Street

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

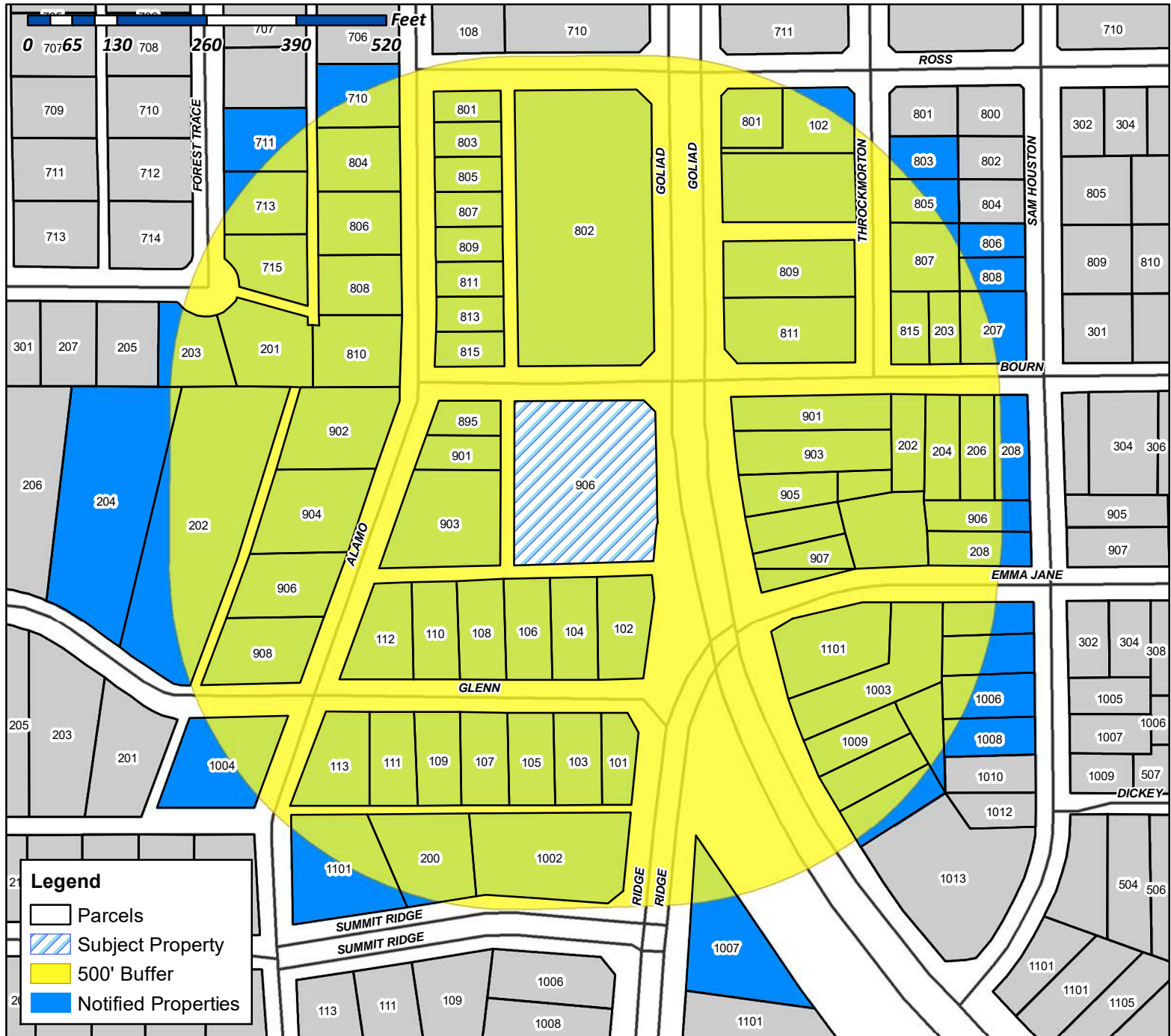
<http://www.rockwall.com/planning/>



City of Rockwall

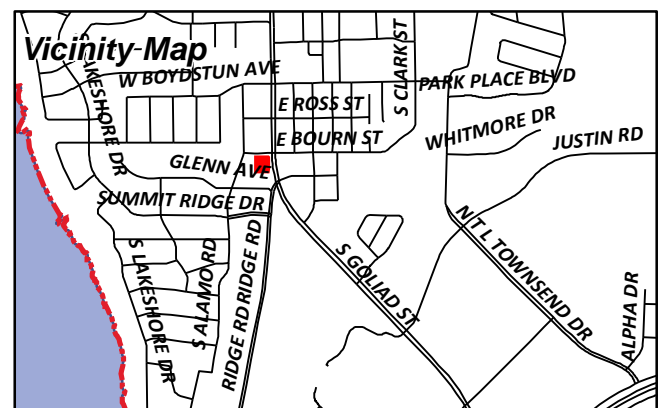
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Case Number: Z2020-035
Case Name: SUP for 906 S. Goliad Street
Case Type: Zoning
Zoning: Planned Development District 62 (PD-62)
Case Address: 906 S. Goliad Street

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745



EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

ERVIN RICHARD L & TERRI K
C/O SONIC
1001 S GOLIAD ST
ROCKWALL, TX 75087

RB CAPITAL LTD
1002 RIDGE RD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

TREVINO EDWARD W & MILLIE A
1004 S ALAMO
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
1007 RIDGE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

EFENEY WILLIAM M
1009 S GOLIAD
ROCKWALL, TX 75087

GEHRING CAROLYN S
101 GLENN
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
102 GLENN
ROCKWALL, TX 75087

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND
JAMES R HOWARD
103 GLENN AVENUE
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
104 GLENN
ROCKWALL, TX 75087

MCFARLIN HULEN D ET UX
105 GLENN AVE
ROCKWALL, TX 75087

SCOTT BILLIE JEAN
106 GLENN AVE
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
107 GLENN
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
108 GLENN AVENUE
ROCKWALL, TX 75087

CG HOLDINGS LLC
109 GLENN
ROCKWALL, TX 75087

HOOVER JERRY H
110 GLENN AVE
ROCKWALL, TX 75087

MILLER CHRISTINE LOUISE
1101 S ALAMO
ROCKWALL, TX 75087

ERVIN RICHARD L & TERRI K
C/O SONIC
1101 S GOLIAD
ROCKWALL, TX 75087

NEWMAN JOANNA N
111 GLENN AVE
ROCKWALL, TX 75087

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
113 GLENN AVE
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
200 SUMMIT RIDGE
ROCKWALL, TX 75087

ROYAL SPHINX HOMES INC
2002 GREENHILL DRIVE
ROWLETT, TX 75088

HUTTO JENNIFER L AND MICHAEL
201 FOREST TRACE
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

STOVALL RAYMOND P
203 FOREST TRACE
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURN
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
208 EMMA JANEST
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
BARBARA J PFENNING TRUSTEE
210 WILLOWCREEK RD
CHICKASHA, OK 73018

RB CAPITAL LTD
2322 HARTS BLUFF ROAD
MT. PLEASANT, TX 75455

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

JONES MICHAEL G
27 SHADY BROOK CIR
ABILENE, TX 79605

QCSI FIVE LLC
C/O IEQ MANAGEMENT INC
300 DELAWAARE AVE SUITE 210
WILMINGTON, DE 19801

2011 TEMUNOVIC FAMILY TRUST
TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

TREVINO EDWARD W & MILLIE A
4349 S PENINSULA DR
PONCE INLET, FL 32127

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

MERRIMAN RICHARD CHARLES AND BARBARA
710 S ALAMO RD
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

COGENT REALTY ADVISORS LLC
7117 STEFANI DRIVE
DALLAS, TX 75225

HILLMAN DORIANN E
713 FOREST TRACE
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

ALLEN FRANKIE MAE
80 THROCKMORTON
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
801 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

MERRIMAN R C ET UX
804 S ALAMO
ROCKWALL, TX 75087

MELSTON KENNETH J & KATHLEEN F
805 S ALAMO RD
ROCKWALL, TX 75087

ALLEN FRANKIE MAE
805 THROCKMORTON
ROCKWALL, TX 75087

CROSS WESLEY AND
MISTY THOMPSON
806 SAM HOUSTON ST
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
807 THROCKMORTON
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
807SALAMO
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

JONES MICHAEL G
808 SAM HOUSTON
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
809 ALAMO
ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

EDWARDS JASON
811 S GOLIAD
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
813 S ALAMO
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

DELGADILLO JUAN C & VICTORIA E
8306 LIGHTHOUSE DR
ROWLETT, TX 75089

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

ROCHIER KELLY BRUNNER
901 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
901 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

ANDREWS VIRGINIA
902 S ALAMO
ROCKWALL, TX 75087

COMPTON EARL D AND
BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
903 S GOLIAD
ROCKWALL, TX 75087

PRESLEY ELIZABETH
904 S ALAMO RD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
905 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
906 S ALAMO
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

BRISTOW JAMES & CHARLOTTE
908 S ALAMO RD
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

MILLER CHRISTINE LOUISE
PO BOX 824
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

— . . . PLEASE RETURN THE BELOW FORM — . . .

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-035 restaurant at 906 S Goliad st

Please place a check mark on the appropriate line below: *

☐

I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Chris

Last Name *

Knox

Address *

109 Glenn ave

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

chrisknox@me.com

Phone Number

214-478-9802

Please check all that apply: *

- ☐ I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☒ I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- ☒ I received a property owner notification in the mail.
- ☐ I read about the request on the City's website.
- ☐ I saw a zoning sign on the property.
- ☐ I read about the request in the Rockwall Herald Banner.
- ☐ My neighbors told me about the request.
- ☐ Other:

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Google Forms

Gamez, Angelica

From: Chuck Scroggs <cscroggs@canddcommercial.com>
Sent: Monday, August 31, 2020 5:42 PM
To: Planning
Subject: Case No. Z2020-035

To- Rockwall Planning and Zoning

From- Charles Scroggs
813 S. Alamo
Rockwall Texas

Dear Mr. Ryan Miller:

I am very much opposed to granting a special use permit for the subject lot to be used as a Restaurant For the following reasons:

- 1] The land was never intended to be used as a restaurant. You have 8 Home owners that purchased and or built homes all the way up to \$450,000 dollars
based on the cities zoning as a commercial office use.
- 2] A review of the Restaurants plans show that there are two entrances to the site proposed. One off of Goliad a state highway very congested with traffic
and within 100 yards of a major intersection where cars are changing lanes to go down Ridge Road and down Hwy 205 . The second entrance is on
the rear alley 20 feet from two residential houses . There will be a constant flow of lights into the homes.
- 3] There are families with children that play and walk in the alley behind these homes, cars exiting the property will be traveling the alley and therefore
creating a risk of striking a child.
Allies are not intended to be used forentrance or exit from a restaurant .
- 4] Residences normally purchase a home to enjoy their back yard without the noise of cars, restaurant patrons talking all hours of the night, the parking lot
lights burning all of the night time hours, disturbing peace and sleeping of residents.
- 5] The light pollution is already a problem in a city and we do not need to add the bright lights and towering signage streaming into our homes.
- 6] Loitering is another risk that comes with a business of this type especially when home owners have a property backed up to a restaurant where people
can see into the back yards where owners have valuables stored or see into the garages when the garage doors are up. This is inviting crime .

7] Trash and debris blowing from the restaurant onto the street , homeowners property and the church property.

8] This request to change the zoning or give a special use to is next door to the First Baptist Church of Rockwall's youth facility . This can potentially put our young children in contact with the wrong crowd of people. This is something that the Restaurant has no control over when it come to the clientele that visit the facility.

9] Property values will go down which is a major concern. Who will pay for the devaluation of the property, the city or the restaurant owners?

With all of this being said the City of Rockwall works for the citizens. As a tax payer I do not feel that granting this special use permit is in the best interest of the homeowners and tax payers. It is my request the the City Council deny the request.

Sincerely,

Charles Scroggs

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Gamez, Angelica

From: Dawn Scroggs <dawn@canddcommercial.com>
Sent: Monday, August 31, 2020 4:36 PM
To: Planning
Cc: Dawn Scroggs; JLLAP@schwab
Subject: Case No. Z2020-035

Attention: Ryan Miller

Homeowner 813 S. Alamo

In the above mentioned case for 906 S. Goliad Street I am very much opposed to this plan for reasons below:

Traffic which is already a problem in this area.
Light pollution
Noise in a residential area
Devaluation of our property
Nuisance to the neighborhood
Loitering in our alley
Loitering on the church parking lot directly behind our home.
Littering of streets, parking lot and alleys
Right of neighbors to a peaceful and quiet place to reside
Lack of privacy
Trash and debris on our streets, yards and alleys
Congestion on quiet streets due to forced traffic being routed for restaurant use.
Interference of church parking which is adjacent to entrance.
Inviting criminal activity due to restaurant being open into the late night hours of operation.

This is not a resident friendly business establishment and should not be permitted. The homeowners are established on all sides of this proposed site and want to remain in the peaceful and quiet neighborhood that it is. We do not need a drive through restaurant disrupting our way of life. This is the worst case scenario that a planning and zoning committee could propose. I cannot believe that this is even being considered for our quiet community in which I've lived since 1992.

This is outrageous.

Sincerely,



Dawn Scroggs

Vice President

C & D Commercial Services

p: 972.475.2271

a: 5030 Dexham Rd., Ste. 102, Rowlett, TX 75088

w: canddservicesinc.com e: Dawn@canddcommercial.com

Sweeping | Striping | Pressure Washing | Concrete | and More



From: [Justin Scroggs](#)
To: [Planning](#)
Subject: Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad street
Date: Sunday, August 30, 2020 3:10:07 PM

OPPOSED

Justin Scroggs
1512 S Alamo Road
Rockwall TX

We are opposed to the Taco Bell being proposed at the above address for the following reasons.

1. **DENSITY.** There is a taco bell located in Rockwall less than 2.3 miles from this location. There is another Taco Bell in Rowlett located 4.1 miles away. We don't need another Taco Bell as there are already other Taco Bells and countless other fast food restaurants within a 5 minute drive of this location.
2. **TRAFFIC.** The proposed located is right where 205 and Ridge Road splits. This is already a congested area with many cars in the right-hand lane preparing to split off and many more merging into this lane from the center lane. It will be extremely difficult to pull out into this traffic and to turn left into this traffic. This will result in: A. an increase in car accidents, injuries and potentially fatalities, B. an increase in traffic. and C. the traffic situation will cause drivers to use S. Alamo (a residential street) as a cut through street to access this location. They will either have drive back to Boydston and use the red light to pull back out onto 205 or drive down to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they put their drive through exit onto a residential street - backing right up to peoples back yards.
3. **RESIDENTIAL AREA.** The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant.
4. **LATE OPERATING HOURS.** Taco bell is known for it's late operating hours - and being the last stop after night of partying. The other Taco Bell (two miles away) is open until 2AM. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.
5. **INCREASE IN CRIME.** Fast food restaurants increase crime. Just see this article in Newsweek: "[How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals](#)". There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Taco Bell. This restaurant will only invite these kinds of people into our neighborhood.
6. **WHO ARE WE SERVING?** Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?
7. **INCREASE IN TRASH.** Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind

will also blow this trash off the Taco Bell property and into people's yards.

8. LOWER PROPERTY VALUE. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses.

9. DOES THIS ADD VALUE TO ROCKWALL? This just seems like a horrible location for a fast food restaurant. Busy road, in a residential area in the heart of an established part of Rockwall. It seems very out of place when you consider where the the rest of the fast food restaurants are located in Rockwall and where the vast majority of other Taco Bells are located in other parts of the DFW area. I don't see how an out of place fast food restaurant will make Rockwall a better place. It certainly will not make our neighborhood a better place.

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From: [LYNN RAMSEY](#)
To: [Planning](#)
Subject: Attn Ryan Miller
Date: Friday, August 21, 2020 3:45:38 PM

Re: Item (6) Z2020-035

Mr. Miller:

I live at 815 South Alamo Road on the corner side street that this proposed restaurant is asking to be constructed. My neighbors and I would be negatively impacted by having a drive through restaurant on this corner. Before I built my home I was told by the city that the properties facing South Goliad were only allowed to build minimal traffic commercial activities such as law offices, insurance agencies, etc. Please let me and my neighbors know how and when to voice our opposition to this proposed change in zoning.

Thank you,

Lynn Ramsey
940-224-5864
lramseykjl@aol.com

Sent from my iPhone

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with 2,000 SF or More with Drive-Through/Drive-In for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

1. TRAFFIC

2. LONG HOURS OF OP.

3. LIGHTING

4. TRASH DUMPSTER

Name: MIKE SHIELDS

Address: 811 S. ALAMO RD.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☒ I am opposed to the request for the reasons listed below.

De-Value Homes in the area
Aweful buffer property being that close to residential (Smell & trash Traffic

Name:

Ryan Kelly, Lucy Kelly

Address:

808 S Alamo Rd Rockwall Tx 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: [Scott and Michelle McNary](#)
To: [Planning](#)
Subject: Zoning Change
Date: Friday, August 21, 2020 1:35:43 PM

Good afternoon!

We just received the zoning change notice in our mail a few minutes ago. Given that we only have until Monday to make our opinions known I felt it would be better to email rather than mail back the notice.

We live at 113 Glenn Ave

We are 100% AGAINST this change. It would back up on two sides to homes with yards. While I understand the "need" for progress in our town, we just don't want it in our neighborhood.

We already have traffic issues going up and down South Alamo when people decide to cut through our neighborhood. People drive fast and don't stop at stop signs.

Adding a restaurant to the edge of our neighborhood would increase traffic not to mention bring in other unwanted pests like rats and mice. Please please please do not allow this to pass. We're already flanked with Goliad traffic and noise, please don't add to it.

We absolutely adore our neighborhood and have no plans on leaving but if ever we had to, I feel that placing a restaurant on the edge of our neighborhood would decrease the desirability of being in our neighborhood and thus affect the value of our home.

Thank you for taking the time to consider how the residents of this neighborhood feel about this situation. I also hope you will take into consideration the lack of time people have to respond to this public notice and don't interpret the lack of response as a reflection of disinterest or being in favor of this zoning change. Many of our residents are older/elderly and two different homeowners (one on Glenn and one on S Alamo) just passed away THIS week...obviously you won't be hearing from them.

I apologize for the lengthiness of this email - we're just really opposed to this zoning change.

Thank you for your time.

Scott and Michelle McNary
113 Glenn Ave

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To: Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad St.
Rockwall, TX 75087

Ph: 972.771.7745
Email: planning@rockwall.com

Re: *Case No. Z2020-035: SUP for Restaurant at 906 s. Goliad Street.*

I am **OPPOSED** to the Taco Bell being proposed at the above address for the following reasons:

1. DENSITY. There is already a high density of Taco Bells in this area - one in Rockwall less than 2.3 miles from this location, and another in Rowlett located 4.1 miles away. We don't need another Taco Bell or fast food restaurant here as there are countless others within a 5 minute drive of this location.

2. TRAFFIC. The proposed Taco Bell location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to turn left into this traffic to go northbound.

Putting a busy fast food restaurant at this location will result in: **a.** an increase in car accidents, injuries and fatalities; **b.** an increase in traffic on 205, S. Alamo and other surrounding neighborhood roads, and; **c.** a diversion of restaurant traffic onto S. Alamo (a residential street) as a cut through street to access and leave Taco Bell. To get back onto 205 or Ridge Road, restaurant customers will either have to take S. Alamo to Boydston and use the red light to pull back out onto 205 or drive down S. Alamo to Summit Ridge to pull out on Ridge Road. The restaurant knows this too - which is why they are planning to build the Taco Bell facing the church drive and have the drive-through exit onto W Bourn Street (a residential street) - backing right up to residents' back yards.

3. RESIDENTIAL AREA. The proposed restaurant is surrounded on one side by a church and two sides by houses. This is a residential area and is not a proper place to put a fast food restaurant. There is supposed to be a buffer zone between this type of property and a residential neighborhood and one does not exist here.

Texas law recognizes the right of quiet enjoyment for residential land owners and tenants. It includes the right to privacy, peace and quiet, safety and security, and other rights. This fast food restaurant will be a nuisance to our neighborhood. It will violate the right of quiet enjoyment of many homeowners in our neighborhood. Putting a fast food restaurant at this location will increase the risk of placing the city and Taco Bell owner in an adverse position with neighborhood residents - heightening the risk of litigation from residents who seek to enforce these rights.

4. LATE OPERATING HOURS. Taco bell is known for its late night operating hours - and being the last stop after night of partying. The other Rockwall Taco Bell (only two miles away) is open until 2 am. This kind of late night activity is out of place in a neighborhood setting. The bright lights, noises, and traffic will disturb this neighborhood greatly.

5. INCREASE IN CRIME. Fast food restaurants increase crime. Just see this article in Newsweek: "How America's Drive-Thrus Serve Robbers, Drug Dealers and Other Criminals" published on April 27, 2019. There are countless other sources confirming the increase in crime - especially for the late night restaurants such as Taco Bell. This restaurant will only invite these kinds of people into our neighborhood.

6. WHO WILL THIS RESTAURANT SERVE? Can the developer show that the people who live in this neighborhood match the same demographics as Taco Bell customers. Will this restaurant even serve the residents of our neighborhood?

7. INCREASE IN TRASH. Fast food restaurants produce trash. Cups, bags paper, plastic lids and straws will be thrown around the restaurant and into the surrounding neighborhood. Wind will also blow this trash off the Taco Bell property and into people's yards.

8. LOWER PROPERTY VALUE. Nobody will want to live next to this restaurant. The noise, trash, increase in traffic, noise and light pollution and increase in crime is going to lower the property values of the surrounding neighborhood and also make it much more difficult for homeowners to sell their houses. Who will compensate us for these damages?

9. DOES THIS ADD VALUE TO ROCKWALL? This just seems like a horrible location for a fast food restaurant - right on a congested stretch of road, in residential area in the heart of an established part of Rockwall. It seems very out of place when you consider the locations of other Rockwall fast food restaurants. And when you consider the locations of other Taco Bells in the DFW area. Every other Taco Bell in the DFW area is located in a shopping center or surrounded by retail. A search using Google Maps confirms this. There is no compelling reason for an exception here. I don't see how an out-of-place fast food restaurant will make Rockwall a better place to live. It certainly will not make our neighborhood a better place.

Sincerely,

Concerned Resident

Signed: Charlotte Bristow

Name: Charlotte Bristow

Address: 908 S. Alam Rd.
Rockwall, TX 75087

PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Ryan Miller
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385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

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Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

- property values will drop
- dangerous amount of traffic in an already dangerous V of traffic

Name:

DEANIE SHIPMAN

Address:

202 Glenn Ave

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Rockwall, TX 75087

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Email: planning@rockwall.com

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2. TRAFFIC. The proposed Taco Bell location is right where 205 and Ridge Road splits. This area is already congested. There are many cars in the southbound right-hand lane preparing to split off from 205 to Ridge Road and many more merging into this lane from the center lane at this spot. It will be extremely difficult (and sometimes impossible) to pull out into this traffic southbound and to turn left into this traffic to go northbound.

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Sincerely,

Concerned Resident

Signed:

Elizabeth Presley
Name: ELIZABETH PRESLEY

Delanie Shipman
Name: DELANIE SHIPMAN

Address: 904 S. Alamo Rd.
Rockwall, TX 75087

My mother just passed away, and I own the home. There is already a dangerous amount of traffic here. Please do not make it worse by granting this for use by any fast food.

Delanie Shipman
214.236.8333

Gamez, Angelica

From: Jenna Scroggs <jenna.scroggs@yahoo.com>
Sent: Friday, September 4, 2020 9:09 AM
To: Planning; Daniels, Bennie; Hohenshelt, John; Fowler, Kevin; Macalik, Dana; Campbell, Anna; Pruitt, Jim
Subject: Case No. Z2020-035
Attachments: letter.pdf

I am opposed to Taco bell going in to this location. See letter attached.

Jenna Scroggs

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PUBLIC NOTICE



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Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2020-035: SUP for Restaurant at 906 S. Goliad Street

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.

Name: Alexandra Dorman
Address: 809 S. Goliad, Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Alexandra S. Puma
803 S. Goliad, Rockwall

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Gamez, Angelica

From: Millie Trevino <matrockwall@yahoo.com>
Sent: Friday, September 4, 2020 2:04 PM
To: Planning
Cc: Daniels, Bennie; Hohenshelt, John; Fowler, Kevin; Macalik, Dana; Campbell, Anna; Pruitt, Jim
Subject: Case No. Z2020-036: SUP for Restaurant at 906 S. Goliad Street
Attachments: Z2020-035 SUP for Restaurant 906 S Goliad Street.pdf

Attached is my letter in opposition to rezoning and allowing a fast food restaurant at this location. To allow a restaurant to at this location would be have a detrimental effect on our neighborhood and be too close to homes and bring unwanted traffic and add chaos to the area which is already heavily congested due to the fact it is where the 205 and Ridge Road intersect...probably the worst intersection in Rockwall. We request the request for the special use permit be DENIED!!!!

Millie Trevino
1004 S Alamo Rd
Rockwall TX 75087

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Ryan Miller, AICP
Director of Planning & Zoning

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Please place a check mark on the appropriate line below:

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☒ I am opposed to the request for the reasons listed below.

PROPERTY VALUE DECREASED
TRAFFIC IN NEIGHBORHOOD
DUMPSTER OF FOOD ACROSS OUR ALLEY.
NOISE, TRAFFIC, TRASH, SMELL OF GARBAGE @ OUR BACKDOOR
Name: **WILLIAM & MARGIE BRUNNER**
Address: **895 S. ALAMO RD ROCKWALL, TX 75087**

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Traffice is already a issue without Contributing to the problem. Not only the issue of Ridge Road, people will come over Church parking lot to Ross which is a hazard to Eugin with. We have a nice neighborhood, we don't want a fast place messing up our area!

Name: *Ronnie and Barbara Watson*
Address: *801 S. Alamo*

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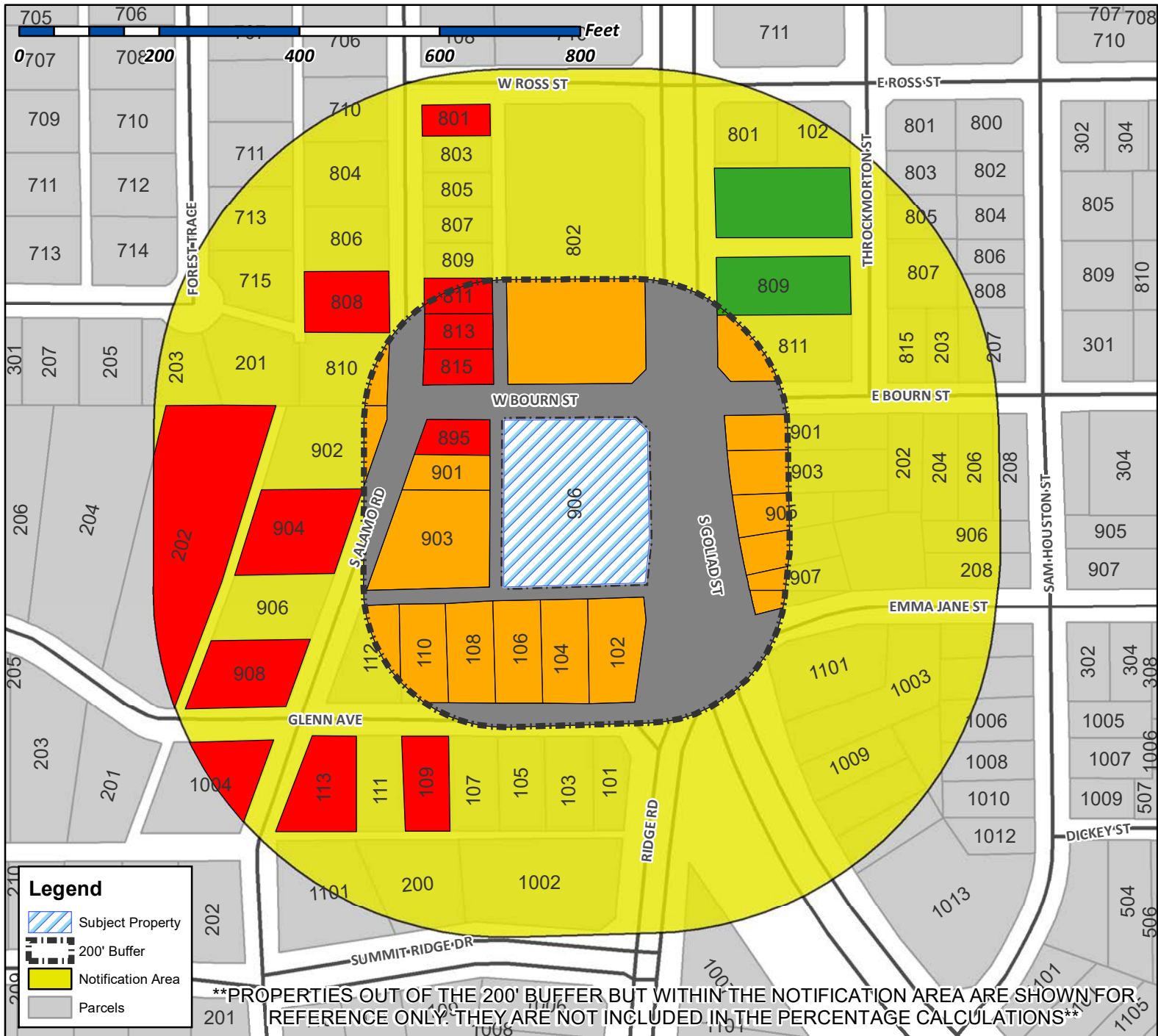
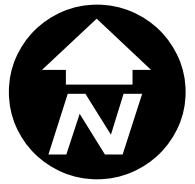
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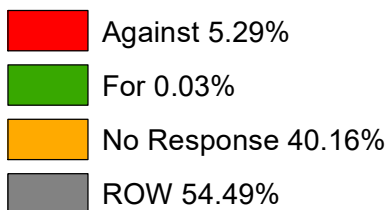
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

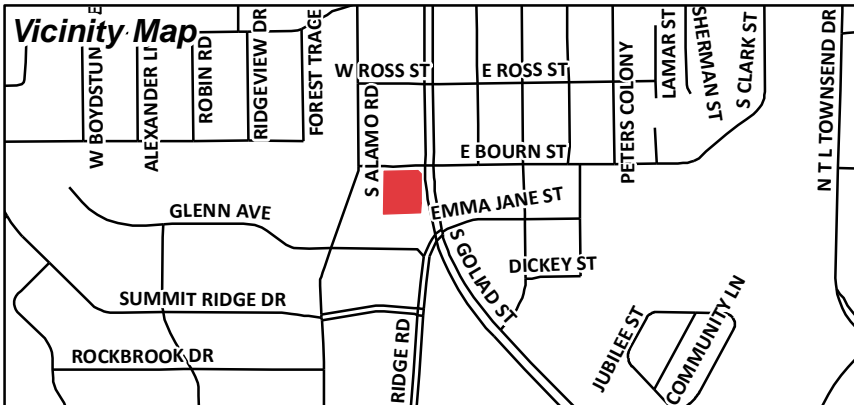
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Z2020-035 - SUP FOR 906 S. GOLIAD STREET



Vicinity Map



Date Created: 9/10/2020

For Questions on this Case Call (972) 771-7745



WIER & ASSOCIATES, INC.
ENGINEERS
SURVEYORS
LAND PLANNERS

August 14, 2020

City of Rockwall
Planning & Zoning Dept.
385 S. Goliad St
Rockwall, Texas 75087

**RE: LETTER OF EXPLANATION – SPECIFIC USE PERMIT
LOT 1, BLOCK B, JACK CANUP ADDITION
W&A# 20075**

PRINCIPALS
JOHN P. WIER, P.E., R.P.L.S.
ULYS LANE III, P.E., R.P.L.S., CFM
CARLO SILVESTRI, P.E.
GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES
PHILIP L. GRAHAM, P.E.
JAKE H. FEARS, P.E., LEED AP BD+C
RANDALL S. EARDLEY, P.E.

ASSOCIATES
TOBY W. RODGERS
CASEY D. YORK
PRIYA N. ACHARYA, P.E.
TIM V. WALLACE, P.E.

Dear Planning and Zoning Staff:

ETX Bell Properties, LLC intends to develop Lot 1, Block B of the Jack Canup Addition. The subject tract is a 1.131-acre parcel of land, currently zoned as PD-62, and situated within the J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas. Said property is generally located at the southwest corner of Goliad St (SH-205) and W. Bourn St and is currently addressed as 906 S. Goliad St.

This Letter of Explanation is accompanying a submittal for a Specific Use Permit request for the approval to construct a 2,053-sf restaurant with drive-thru. This development requires a Specific Use Permit due to being a restaurant, more than 2,000-sf, with drive-thru facilities.

We appreciate your acceptance of our Specific Use Permit submittal and request your recommendation to the Planning and Zoning Commission and City Council for the approval of this SUP. Please contact the developer, Toby Gowin with ETX Bell Properties, LLC, by phone at 903-589-1671 or via email at tgowin@smi-tex.com or the developer's engineer, Casey Orr, P.E. with Wier & Associates, Inc., by phone at 903-722-9030 or via email at caseyo@wierassociates.com with any questions or comments.

Respectfully,

Casey Orr, P.E.
Project Manager

2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006-7440
(817) 467-7700
FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.
HENDERSON, TEXAS 75654-3559
(903) 722-9030
TOLL FREE FAX (844) 325-0445



WIER & ASSOCIATES, INC.
ENGINEERS
SURVEYORS
LAND PLANNERS

September 1, 2020

City of Rockwall
Planning & Development Services
385 S. Goliad Street Rockwall, TX 75087
Attn: Angelica Gamez

PRINCIPALS
JOHN P. WIER, P.E., R.P.L.S.
ULYS LANE III, P.E., R.P.L.S., CFM
CARLO SILVESTRI, P.E.
GREGG MADSEN, R.P.L.S.

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RANDALL S. EARDLEY, P.E.

ASSOCIATES
TOBY W. RODGERS
CASEY D. YORK
PRIYA ACHARYA, P.E.

RE: WA # 20075 – 906 S GOLIAD ST, ROCKWALL, TX 75087 (Z2020-035)

Dear City of Rockwall,

On behalf of the applicant, please find below a listing of requested waivers of the City of Rockwall Unified Development Code:

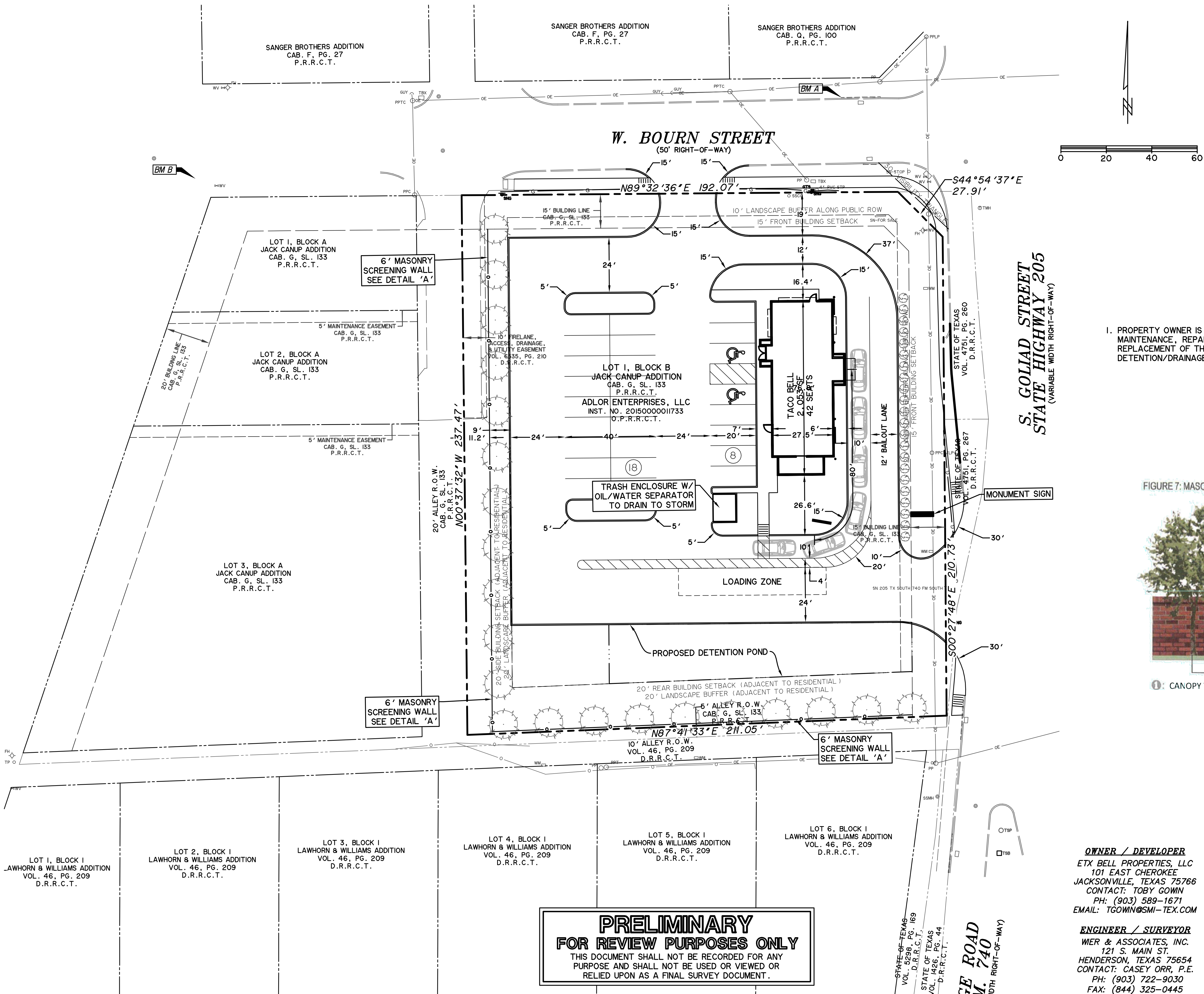
Land Use Conditional Standards: applicant is requesting a drive-thru for a restaurant, which is less than 2,000 sf. The proposed drive-thru will accommodate at least the required minimum 6 stacking spaces.

Ingress/Egress Locations: applicant is requesting a waiver from the required driveway spacing for the proposed driveway on Bourn St. In an effort to prevent traffic from accessing the site via the alley, a proposed curb cut is located 102' from the Goliad St face-of-curb.

A copy of the SUP site plan and supporting documents are included for reference. Should you have any questions or require additional information, please do not hesitate to contact us.

Respectfully,

Casey Orr, P.E.



SITE DATA CHART	
ZONING	PD-62
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT W/DRIVE THRU
LOT AREA	1.131± AC (49,258 SF)
BUILDING AREA	2,053 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	FRONT (ALONG ROW): 15' SIDE (ALONG RESIDENTIAL): 20' REAR (ALONG RESIDENTIAL): 20'
PARKING REQ'D	2,053 SF: 1/100 SF = 21
TOTAL PARKING PROVIDED	26
ACCESSIBLE PARKING PROVIDED	2
BUILDING/LOT COVERAGE	4.168%

- GENERAL NOTES:
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB RADIUS ARE 3.0' F/C, WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
 - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

1. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS.

FIGURE 7: MASONRY FENCE WITH CANOPY TREES IN PERSPECTIVE VIEW



1: CANOPY TREES-20 FOOT ON CENTER 2: SIX (6)FOOT MASONRY WALL

DETAIL 'A'
REFER TO ARCHITECT

SUP SITE PLAN LOT 1, BLOCK B JACK CANUP ADDITION

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE B. J. T. LEWIS SURVEY, ABSTRACT No. 255, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING ALL OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM JORGLY, L.L.C., TO ADLOR ENTERPRISES, LLC, AS RECORDED IN INSTRUMENT NUMBER 20150000011733 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS

September 1, 2020

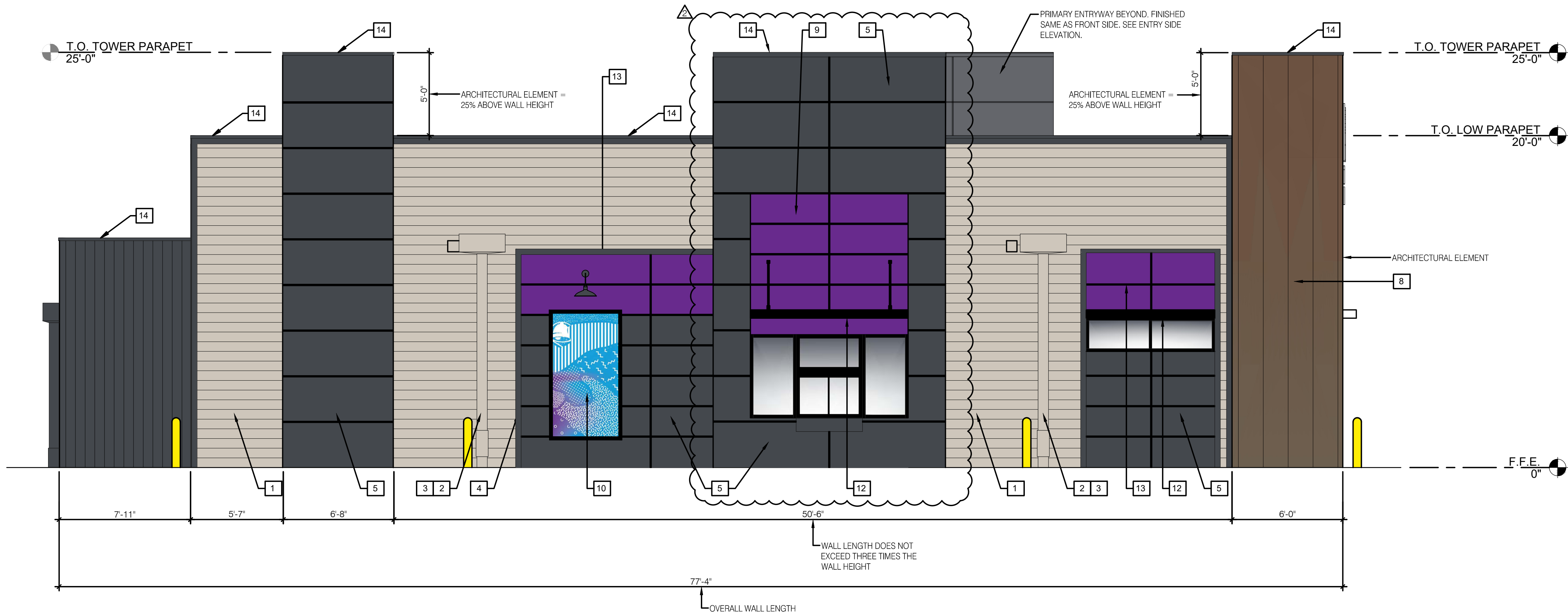
PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO 1817 1467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

CASE No.: Z2020-035
DATE: 9/1/2020
SHEET 1 OF 1 W.A. No. 20075

OWNER / DEVELOPER
ETX BELL PROPERTIES, LLC
101 EAST CHEROKEE
JACKSONVILLE, TEXAS 75766
CONTACT: TOBY GOWIN
PH: (903) 589-1671
EMAIL: TGOWIN@SMI-TEX.COM

ENGINEER / SURVEYOR
WIER & ASSOCIATES, INC.
121 S. MAIN ST.
HENDERSON, TEXAS 75654
CONTACT: CASEY ORR, P.E.
PH: (903) 722-9030
FAX: (844) 325-0445

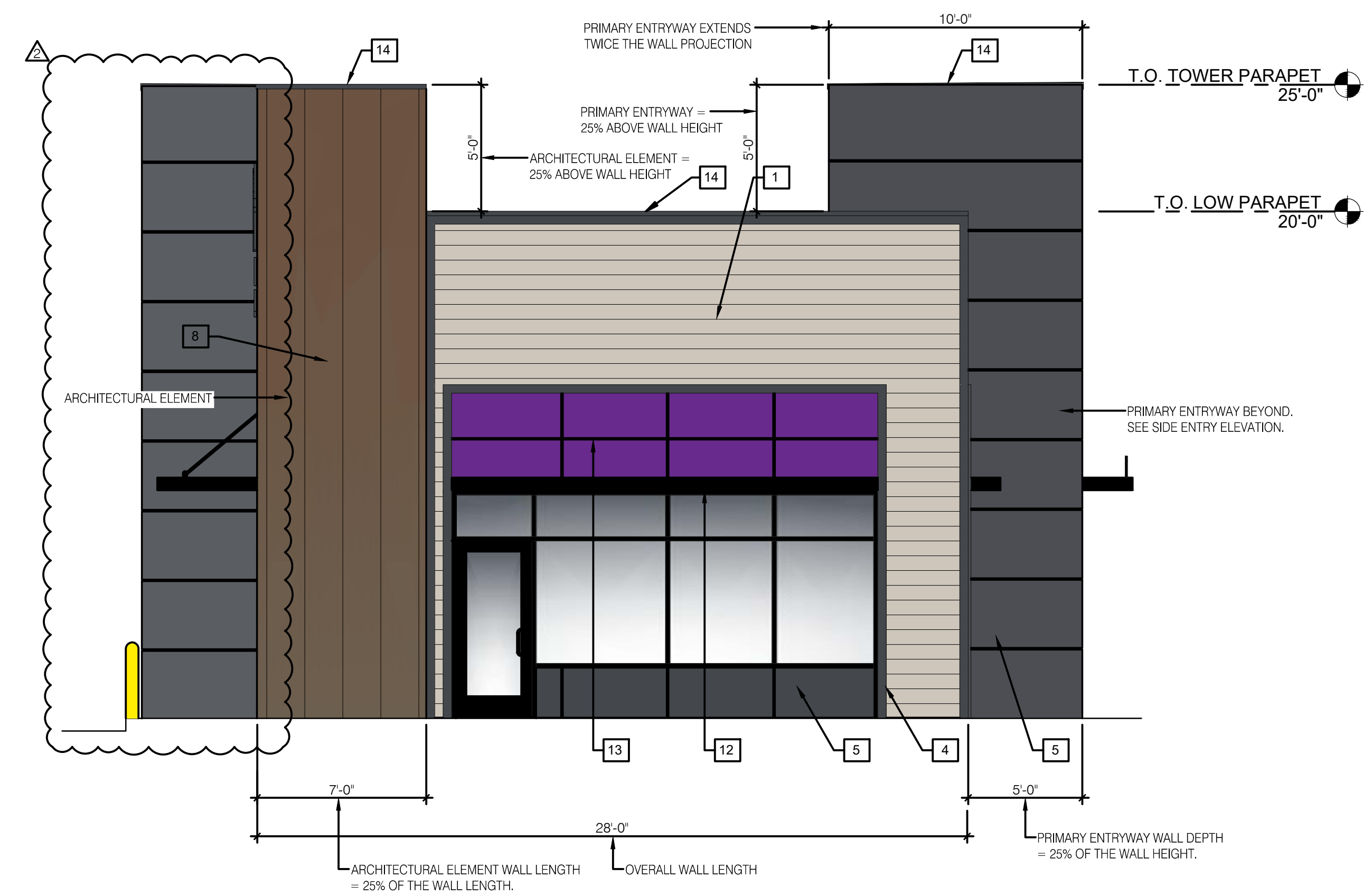
**PRELIMINARY
FOR REVIEW PURPOSES ONLY**
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.



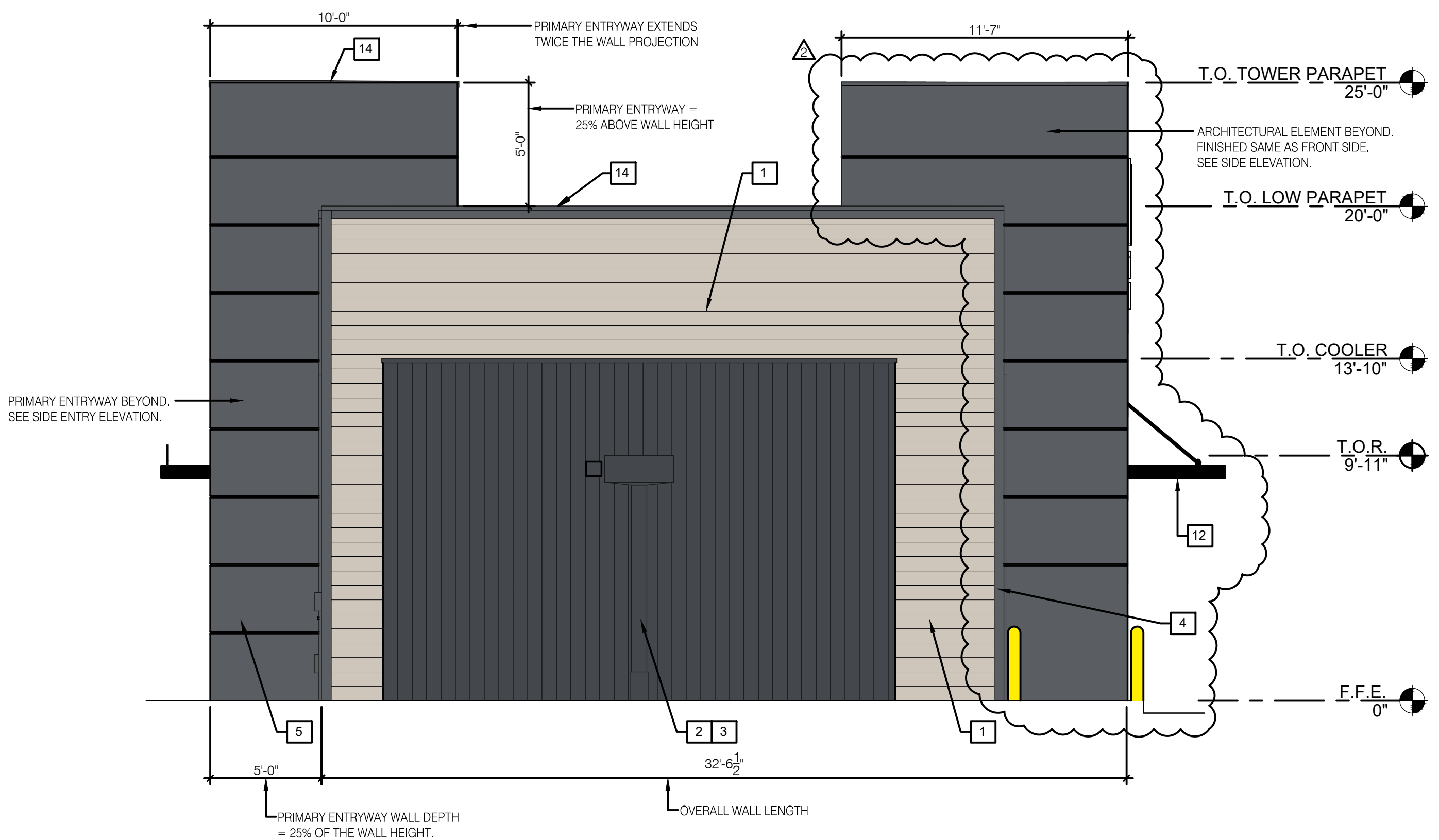
REAR ELEVATION 1/4" = 1'-0" 1

NOT USED

A



FRONT ELEVATION 1/4" = 1'-0" 2



REAR ELEVATION 1/4" = 1'-0" 3

LONGIE SMITH

ARCHITECT

phone 859.624.3745
fax 859.624.3745

519 Hampton Way, Suite 8
Richmond, KY 40475

DATE	REMARKS
1 08-26-20	REV.
2 08-27-20	REV.

CONTRACT DATE: ###
BUILDING TYPE: END. MED40
PLAN VERSION: MARCH 2020
BRAND DESIGNER:
SITE NUMBER: ###
STORE NUMBER: ###
PA/PM: LS
DRAWN BY.: WCS
JOB NO.: 20756

TACO BELL

BOURN STREET
ROCKWALL, TX



ENDEAVOR 1.0
EXTERIOR
ELEVATIONS

A4.1

LONNIE SMITH
 ARCHITECT

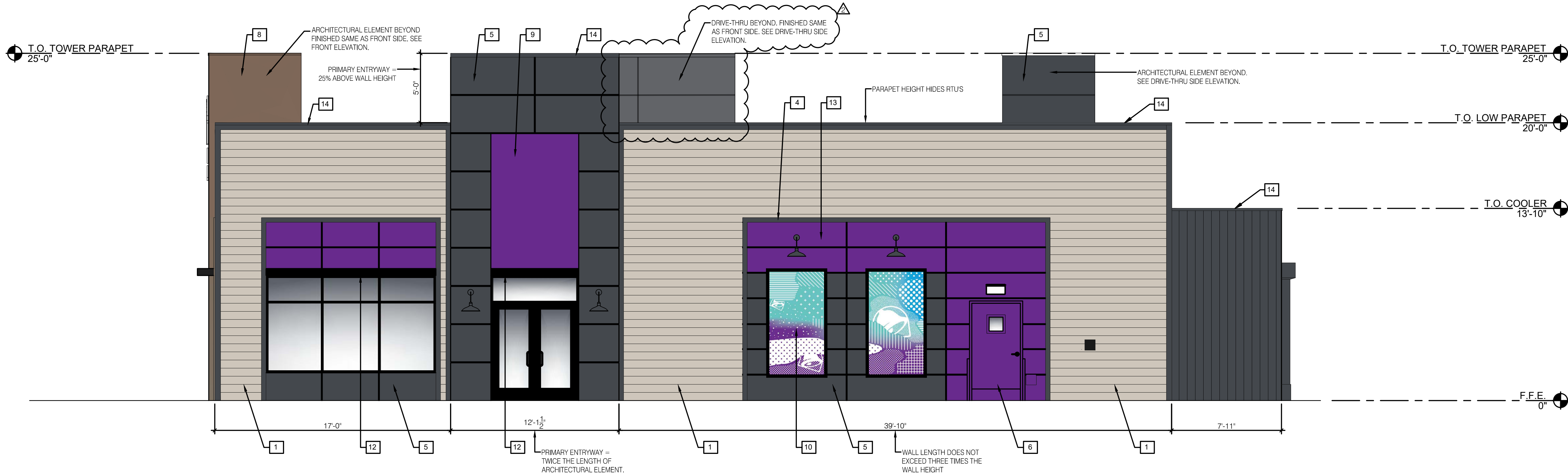
phone 858.624.3745
 fax 858.624.3745

519 Hampton Way, Suite 8
 Richmond, KY 40475



ENDEAVOR 1.0
 EXTERIOR
 ELEVATIONS

A4.0



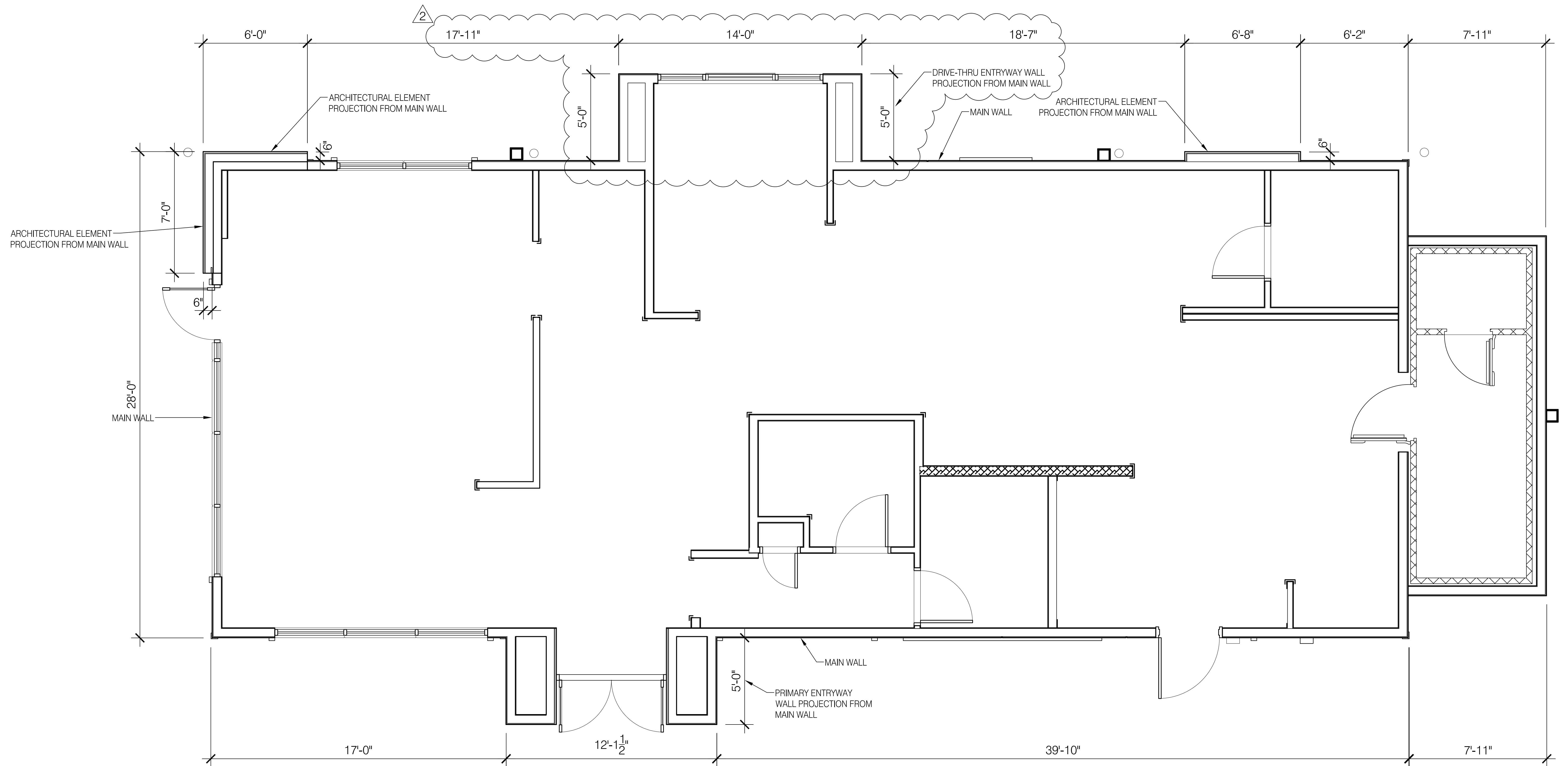
FRONT ELEVATION 1/4" = 1'-0" 1

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SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE RUSTIC 144L X 8.25"W; 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	-	-	SEE D / A 7.2
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4 SMOOTH 1"x5.5'	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
5	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
6	HOLLOW METAL DOOR	-	-	PURPLE TB2603C & FRAME, SEMI-GLOSS	-	-	SEE D / A 7.2
7	AWNINGS	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	-	-	SEE D / A 7.2
8	CORNER TOWER	-	-	WEATHERED RUSTIC- WESTERN STATES	-	-	SEE D / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	-	-	PURPLE (ST2603C)	-	-	SEE D / A 7.2
10	EXTERIOR ARTWORK PANELS (OPTIONAL)	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE STB2603C RUSTIC	-	-	SEE D / A 7.2
11	EXTERIOR MURAL	-	-	-	-	-	SEE D / A 7.2
12	METAL CANOPIES	SIGNAGE VENDOR	-	-	-	-	SEE D / A 7.2
13	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	PURPLE (SW/TB2603C)	-	-	SEE D / A 7.2
14	METAL PARAPET CAP	-	-	CYBERSPACE (SW7076)	-	-	SEE D / A 7.2

EXTERIOR FINISH SCHEDULE H

NOT USED D



Planned Development District 62 (PD-62) [Ordinance No. 05-42]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
- ~~3) The hours of operation for the *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* shall be limited to Monday through Sunday 7:00 AM to 10:00 PM.~~
- 4) A minimum of an eight (8) foot masonry wall (*constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
- 5) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 62 (PD-62) [*ORDINANCE NO. 05-24*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT, 2,000 SF OR MORE, WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 1.1308-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK B, JACK CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Allen Anderson of Adlor Enterprises, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 1.1308-acre parcel of land described as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] for General Retail (GR) District land uses, addressed as 902 & 906 S. Goliad Street [SH-205], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 62 (PD-62) [*Ordinance No. 05-42*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 62 (PD-62) [*Ordinance No. 05-24*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 62 (PD-62) [Ordinance No. 05-42]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, 2,000 SF or More, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a *Restaurant, 2,000 SF or More, with a Drive Through or Drive-In* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations will be subject to change based on the recommendations of the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of site plan approval.
- 3) A minimum of a six (6) foot masonry wall (*constructed with materials matching the primary structure*) be constructed adjacent to the southern and western property lines. Mature canopy trees should be planted on 20-foot centers along the entire length of the wall.
- 4) A minimum of a 20-foot landscape buffer with a berm and shrubbery shall be established along S. Goliad Street fully impairing any visibility issues caused by headlights from motor vehicles in the drive through lane. In addition, mature canopy trees on 50-foot centers should be planted along the entire length of S. Goliad Street.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map

Address: 902 & 906 S. Goliad Street

Legal Description: Lot 1, Block B, Jack Canup Addition

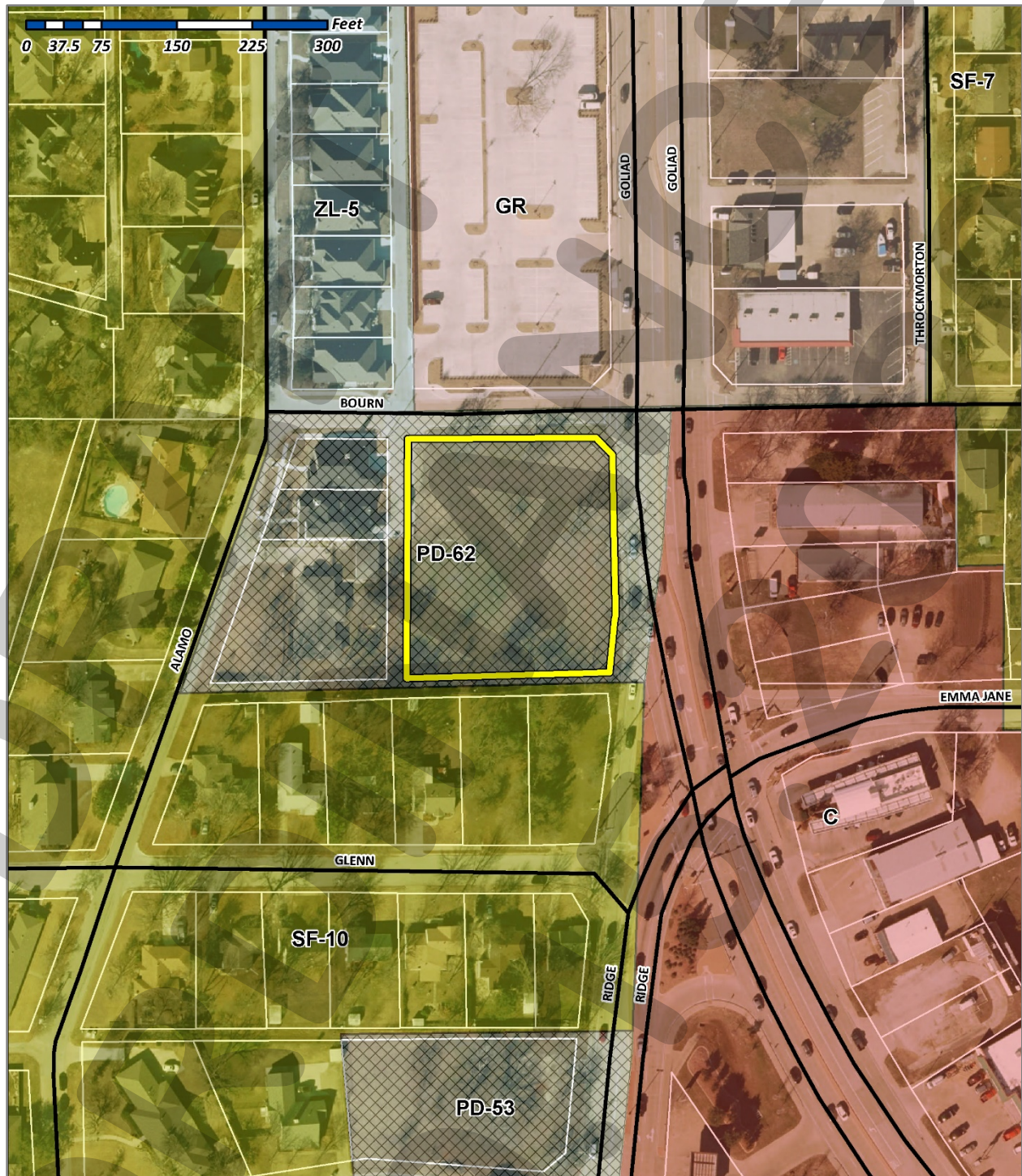


Exhibit 'B':
Concept Plan

SITE DATA CHART		
ZONING	PD-62	
EXISTING USE	VACANT	
PROPOSED USE	RESTAURANT W/DRIVE THRU	
LOT AREA	1.13± AC (49,256 SF)	
BUILDING AREA	2,053 SF	
BUILDING HEIGHT	25'-0"	
BUILDING SETBACKS		
FRONT (ALONG ROW)	15'	
SIDE (ALONG RESIDENTIAL)	20'	
REAR (ALONG RESIDENTIAL)	20'	
PARKING REQ'D	2,053 SF / 100 SF = 21	
TOTAL PARKING PROVIDED	26	
ACCESSIBLE PARKING PROVIDED	2	
BUILDING/LOT COVERAGE	4.168%	

- GENERAL NOTES:
1. DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 2. ALL PROPOSED CURB RADIUS ARE 3.0' F/C WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
 3. SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
 4. ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

1. PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEMS.

FIGURE 7: MASONRY FENCE WITH CANOPY TREES IN PERSPECTIVE VIEW



1. CANOPY TREES-20 FOOT ON CENTER
2. SIX (6) FOOT MASONRY WALL
3. DETAIL 'A'
REFER TO ARCHITECT

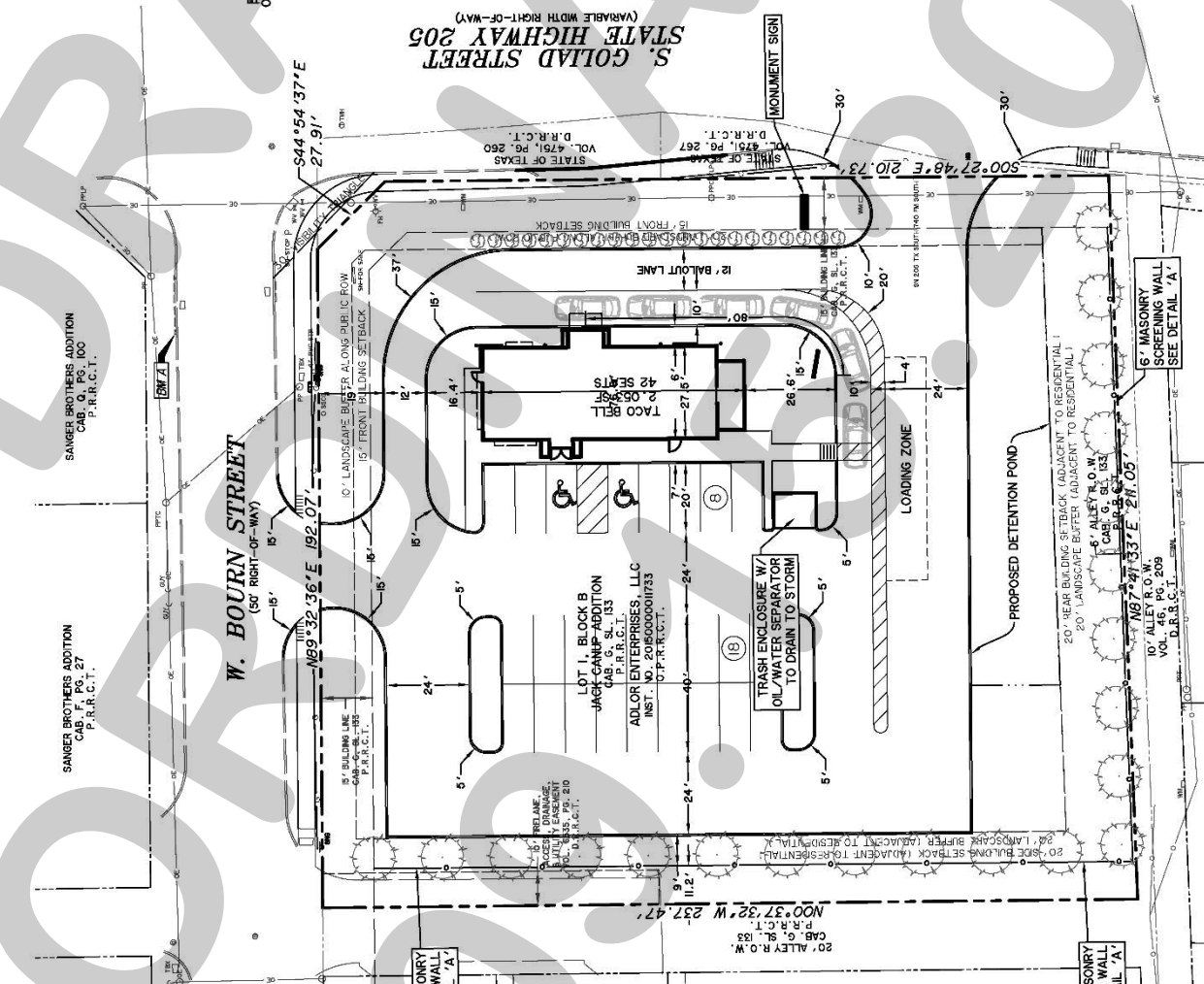
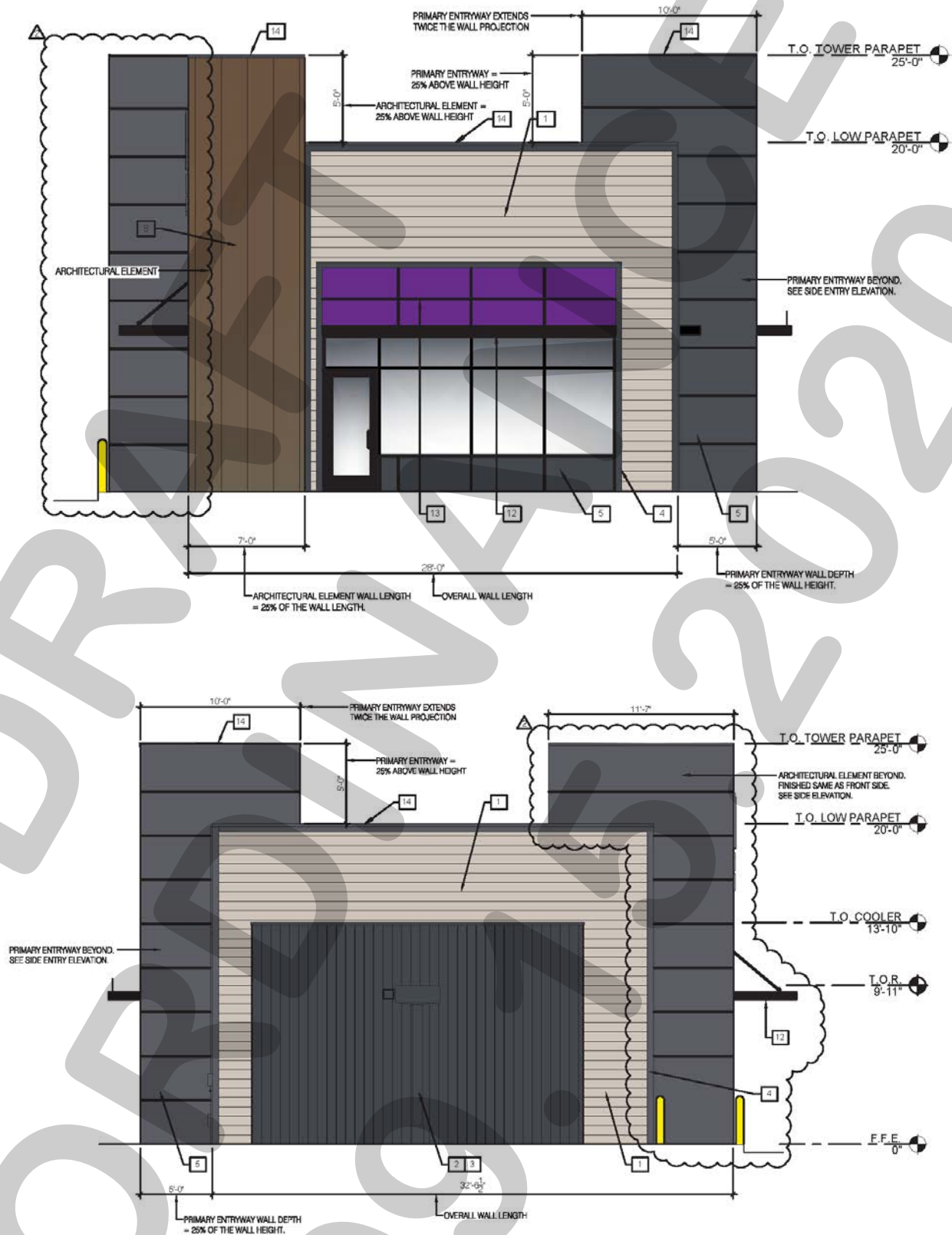


Exhibit 'C':
Concept Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: September 15, 2020

APPLICANT: Nabiha Saeed, *Symonds Flags and Poles, Inc.*

CASE NUMBER: Z2020-036; *Specific Use Permit for a Flag Pole at 1540 E. IH-30*

SUMMARY

Hold a public hearing to discuss and consider a request by Nabiha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a flag pole on an existing motor vehicle dealership (i.e. *Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 6, 2005 when the City Council approved *Ordinance No. 05-25 (Case No. Z2005-019)* changing the zoning to a Light Industrial (LI) District. The building on the subject property was constructed as a house of worship (i.e. *Church of Christ*) in 1990 and was remodeled in 2012-2013 after the City Council approved *Ordinance No. 12-11 (Case No. Z2012-005)* -- on June 18, 2012 -- allowing a *New Motor Vehicle Dealership* on property. The changes to the exterior of the building were approved under site plan *Case No. SP2012-010* on June 12, 2012.

On January 14, 2013, the then owner of the property applied for a sign variance to [1] allow two (2) pole signs along the IH-30 frontage road (i.e. *a 40-foot tall sign with 400 SF of sign area and a 50-foot tall sign with 600 SF of sign area*), [2] to have the 40-foot tall pole sign situated one (1) foot from the property line, [3] allow a 600 SF electronic message display, and [4] to have a 16-foot tall by 16-foot wide (i.e. *256 SF*) wall sign. At the time, the code allowed one (1) pole sign a maximum of 30-feet tall and 167 SF in size to be situated on a property as long as it was setback a minimum of ten (10) feet from all property lines. In addition, wall signs were permitted to be a maximum of six (6) feet tall and six (6) feet wide. This request was approved by the City Council on January 22, 2013 and the permits for these signs (*Case No.'s SGN2013-015 & SGN2013-0017*) were issued on February 7, 2013 (see *attached packet for elevations of the existing signage*).

In 2017, the current owner purchased the property, and no additional changes have been made to the subject property since the completion of the remodel in 2013.

PURPOSE

The applicant -- *Nabiha Saeed* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a 120-foot flag pole in conjunction with an existing motor vehicle dealership.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1540 E. IH-30 and is currently being used as a motor vehicle dealership (*i.e. Clay Cooley Hyundai of Rockwall*). The land uses adjacent to the subject property are as follows:

- North:** Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads. Beyond this are three (3) parcels of land currently occupied by an appliance store (*i.e. North Texas Appliance*), a house of worship (*i.e. Landmark Fellowship Church*), and a multi-tenant facility consisting of two (2) metal buildings. All of these properties are zoned Light Industrial (LI) District.
- South:** Directly south of the subject property is a dedicated 60-foot right-of-way followed by a 2.40-acre parcel of vacant land (*i.e. Lot 1, Block 2, Rockwall Recreational Addition*) zoned Light Industrial (LI) District. South of this parcel of land is a 21.684-acre tract of vacant land (*i.e. Tract 4-09 of the N. M. Ballard Survey, Abstract No. 24*) zoned Light Industrial (LI) District.
- East:** Directly east of the subject property is a new motor vehicle dealership (*i.e. Rockwall Honda*), which is situated on an 8.686-acre parcel of land (*i.e. Lot 1, Block 1, Honda of Rockwall Addition*) that is zoned Commercial (C) District. Beyond this are two (2) vacant tracts of land (*i.e. Tract 2 of the J. Lockhart Survey, Abstract No. 134 and Tract 3 of the J. M. Allen Survey, Abstract No. 2*) that are zoned Commercial (C) District.
- West:** Directly west of the subject property is Commerce Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an overflow sales/inventory storage lot for the motor vehicle dealership operating on the subject property (*i.e. Clay Cooley Hyundai of Rockwall*). This property is zoned Light Industrial (LI) District and has a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership* (*i.e. S-189; Ordinance No. 18-22*). Beyond this are two (2) metal buildings (*i.e. Warehouse Pro and Elliott Electric Supply*) on one (1) tract of land (*i.e. Tract 4-4 of the N. M. Ballard Survey, Abstract No. 24*) and one (1) parcel of land (*i.e. Lot 1, Block A, Lane Business Park Addition*). These properties are zoned Planned Development District 31 (PD-31) for limited Heavy Commercial (HC) District land uses and Planned Development District 26 (PD-26) for limited Light Industrial (LI) District land uses.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the construction of a 120-foot flag pole on the subject property, which is currently occupied with an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai of Rockwall*). The flag pole will be located adjacent to the western façade of the existing motor vehicle dealership building, next to the service porte-cochere. Staff estimates that the flag pole will be located ~137-feet from the northern property line adjacent to the IH-30 frontage road, and ~95-feet from the western property adjacent to Commerce Street.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(f)lag poles are permitted in all districts, but must meet the building height and setback requirements for each district." In this case, the subject property is zoned Light Industrial (LI) District, which according to Article 05, *District Development Standards*, of the Unified Development Code (UDC) the maximum height is 60-feet; however, this section also allows the building height to be increased to 120-feet if approved through a Specific Use Permit (SUP). As stated above, the applicant is requesting the maximum height of 120-feet. The proposed flag pole will meet all of the required setbacks stipulated by Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

STAFF ANALYSIS

Staff has reviewed all properties in the IH-30 corridor and determined that: [1] no other property has a flag pole that exceeds 60-feet in height, and [2] no Specific Use Permits (SUPs) have been approved allowing a structure to exceed 60-feet in height. Staff has also reviewed all other *New Motor Vehicle Dealerships* located in the IH-30 corridor and determined that all of these properties currently have flag poles that appear to be 60-feet in height conforming to the *by-right* height permitted by the

Unified Development Code (UDC). For the review of the Planning and Zoning Commission and City Council, staff has provided images of the flag poles in front of the *New Motor Vehicle Dealerships* in the IH-30 corridor. With all this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On August 15, 2020, staff mailed 16 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to for a Specific Use Permit (SUP) to allow *a structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a 120-foot flag pole, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The development of a flag pole on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) The construction of a flag pole on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of the draft ordinance.
 - (c) The proposed flag pole shall not exceed a maximum overall height of 120-feet as measured from grade.
 - (d) The flag shall be maintained in good condition free of tears, rips, fraying, or fading.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22020-036

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Plotting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION (PLEASE PRINT)

Address 1540 I-30 Rockwall, TX 75087

Subdivision

Lot 2

Block 1

General Location Clay Cooley Hyundai

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning Light Industrial

Current Use Auto Dealer / Service

Proposed Zoning N/A

Proposed Use Installing 126' Flagpole with 40x60 US Flag

Acreage 4.390

Lots (Current) 2

Lots (Proposed)

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB1167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

☒ Owner Clay E. Cooley

☐ Applicant Symonds Flags & Poles, Inc.

Contact Person Mary Pinedo

Contact Person Nabila "Bea" Saeed

Address 1251 E. Airport Fwy.

Address 7503 Flagstone Dr.

City, State & Zip Irving TX 75062

City, State & Zip Fort Worth, TX 76118

Phone (972) 573-7607

Phone 814-596-1900 ext. 104

E-Mail mpinedo@comeseeclay.com

E-Mail Bea@symondsflags.us

NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared Clay Cooley [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application, all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

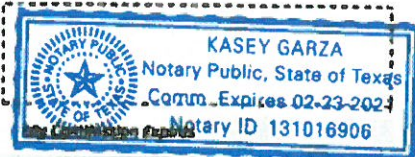
Given under my hand and seal of office on this the 9 day of June, 20 20

Owner's Signature

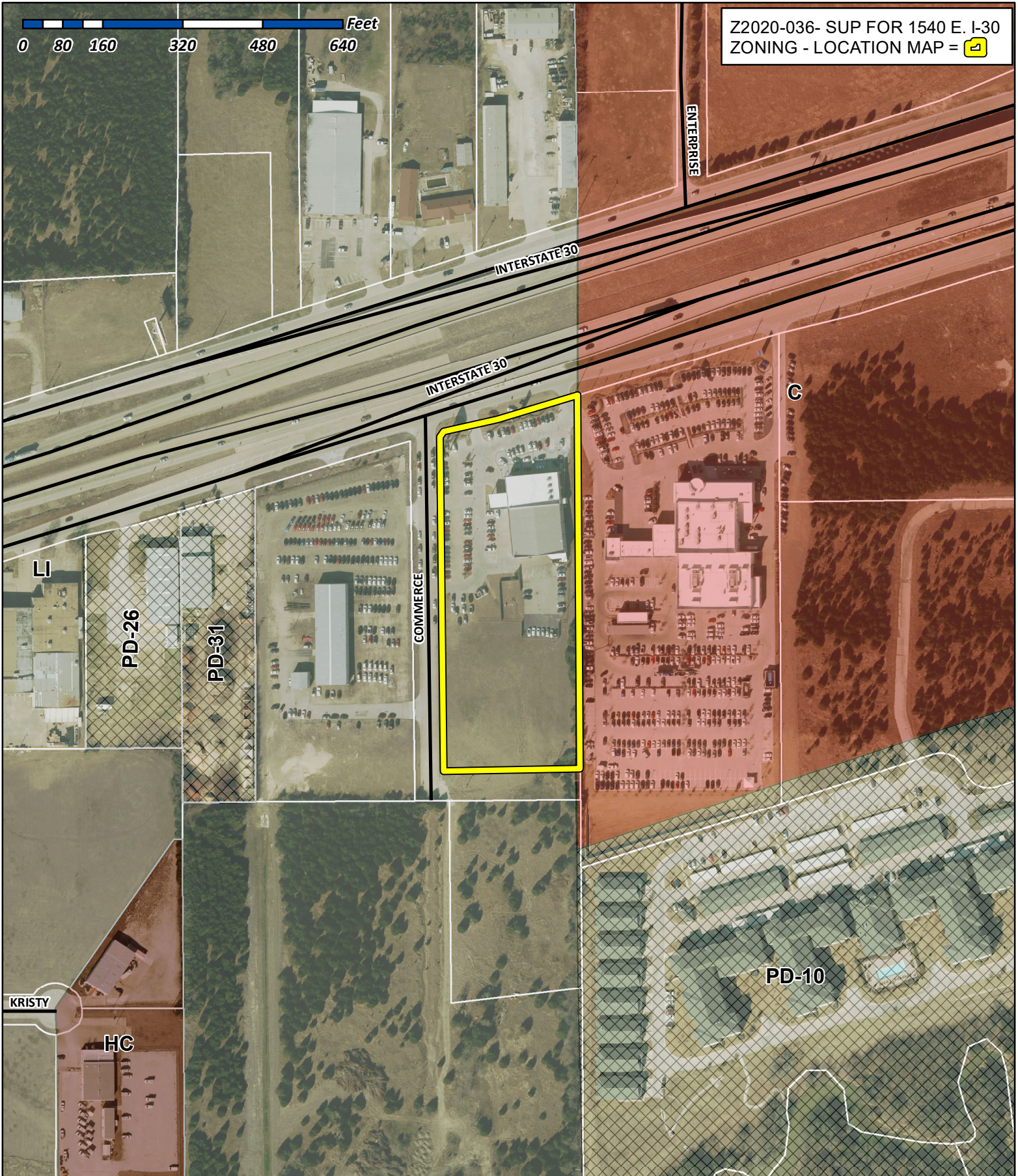
Notary Public in and for the State of Texas

DEVELOPMENT APPLICATION

Kasey Garza



2-23-2021



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

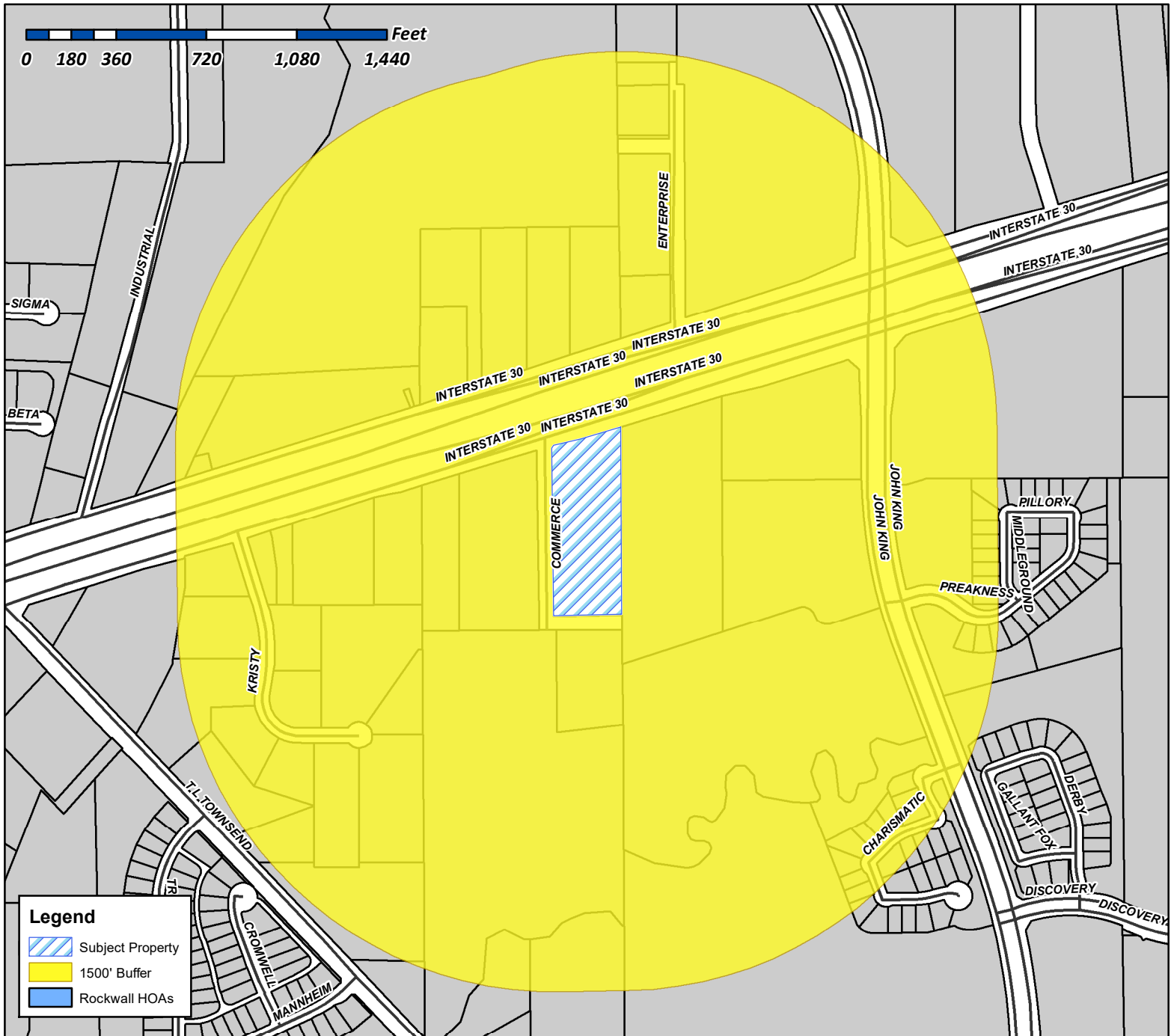




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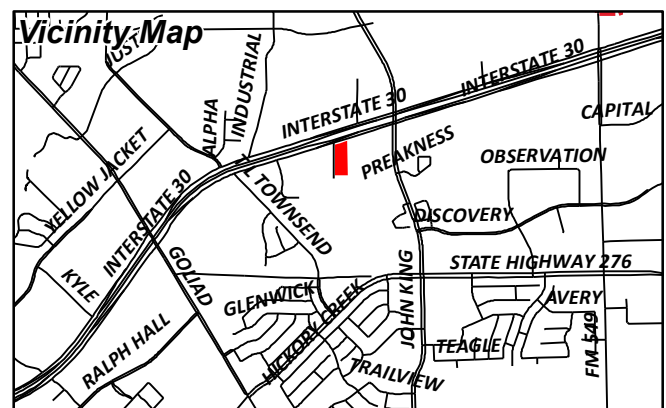
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Case Number: Z2020-036
Case Name: SUP for 1540 E. I-30
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1540 E. I-30

Date Created: 8/14/2020

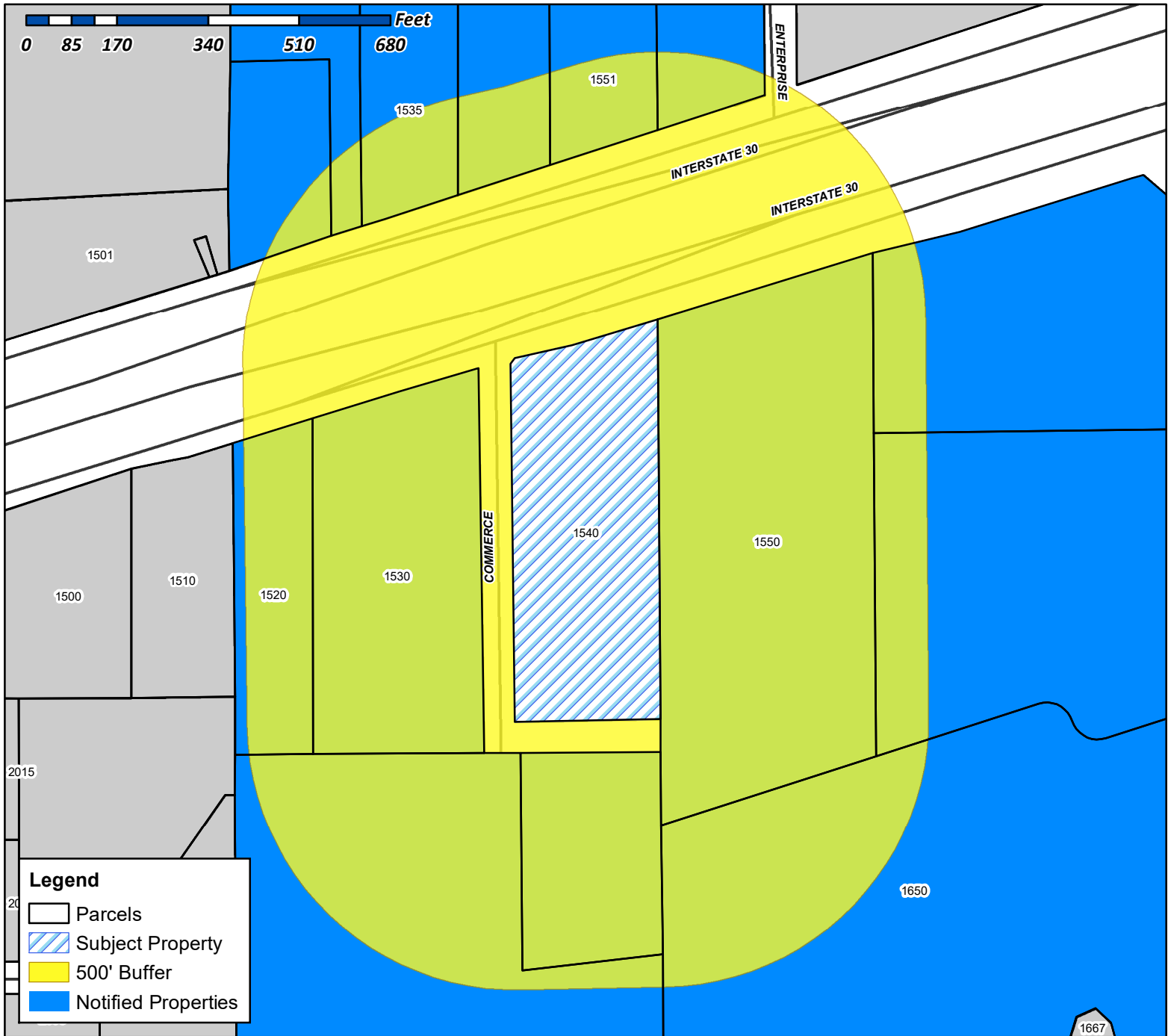
For Questions on this Case Call (972) 771-7745



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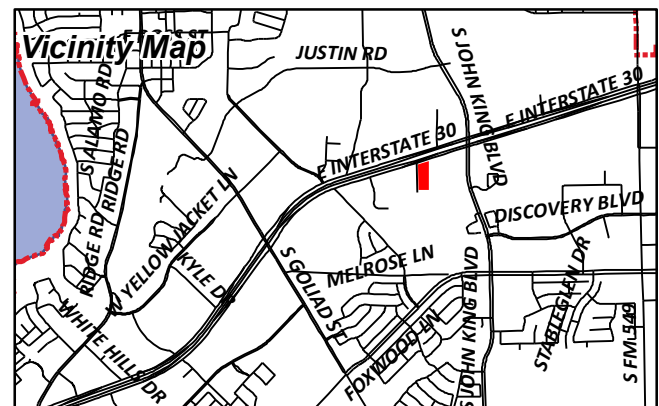
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Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1540 E. IH-30

Date Created: 8/14/2020

For Questions on this Case Call (972) 771-7745



ROCKWALL CREDIT SERVICES LC
1520 E I30
ROCKWALL, TX 75032

1540 EAST IH 30 ROCKWALL LLC
1530 S I30
ROCKWALL, TX 75032

ZBH/1535 E INTERSTATE 30 LTD
1535 I30
ROCKWALL, TX 75032

1540 EAST IH 30 ROCKWALL LLC
1540 EAST IH 30
ROCKWALL, TX 75087

REALTY HOLDINGS OF ROCKWALL LLC
1550 E I30
ROCKWALL, TX 75032

AM ROCKWALL INVESTMENTS LP
A TEXAS LTD PARTNERSHIP
1551 E INTERSTATE 30 STE A
ROCKWALL, TX 75087

STAR HUBBARD LLC
C/O STEADFAST COMPANIES
1650 S JOHN KING
ROCKWALL, TX 75032

STAR HUBBARD LLC
C/O STEADFAST COMPANIES
18100 VON KARMAN SUITE 500
IRVINE, CA 92612

REALTY HOLDINGS OF ROCKWALL LLC
1925 CEDAR SPRINGS ROAD SUITE 204
DALLAS, TX 75201

DVB FAMILY LIMITED PARTNERSHIP
2421 KATHRYN DR
HEATH, TX 75032

DYNACAP HOLDINGS LTD &
CHARLES SMITH
709 W RUSK ST STE B
ROCKWALL, TX 75087

CAMBRIDGE COMPANIES
C/O WEBB RHOADES
8750 N CENTRAL EXPY SUITE 1735
DALLAS, TX 75231

ZBH/1535 E INTERSTATE 30 LTD
9669 JOURDAN WAY
DALLAS, TX 75230

ROCKWALL CREDIT SERVICES LC
PO BOX 1870
ROCKWALL, TX 75087

ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

COLLIN G PROPERTIES LTD
PO BOX 847
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-036: SUP for Flag Pole at 1540 E. IH-30

Hold a public hearing to discuss and consider a request by Nabiha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) to allow a structure that exceeds 60-feet in height in a Light Industrial (LI) District for the purpose of constructing a flag pole on an existing motor vehicle dealership (i.e. Clay Cooley Hyundai) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

— . . . PLEASE RETURN THE BELOW FORM — . . .

Case No. Z2020-036: SUP for Flag Pole at 1540 E. IH-30

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



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PLEASE RETURN THE BELOW FORM

Case No. Z2020-036: SUP for Flag Pole at 1540 E. IH-30

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Great Addition to the Area

LOVE to see American FLAGS FLYING

Name:

Raymond Taylor Pura Rockwall Credit Services LLC

Address:

1520 & 1510 EAST I-30

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Symonds Flags & Poles, Inc.
7503 Flagstone Dr. Bldg. 30
Fort Worth, TX 76118
Tel 214-596-1900 Fax 817-590-8019
www.symondsflags.us



The flagpole does not violate, the intent of Chapter 7, and it will be professionally designed and installed solely for the purpose of displaying ^{US} both the US ~~and TX~~ ^{Flags} Flags. It is actually, in the guidelines of Chapter 7.

It will not affect in any way the surrounding properties, or the safety of the public. The flagpoles will create great feelings of Patriotism and the love of our great country and state.

There will be no adverse impact.

All of us who drive by on Hwy 30 will marvel at the City of Rockwall's Love of our Country.

If the variance is not granted we will not be able to adequately demonstrate our great Patriotism and love of our Country and State to the people of Rockwall and all who travel through it.

It will actually compliment the looks of the city.

Thank you,

Nabiha Saeed

EXHIBIT A

Description of the Property

TRACT I

BEING a 4.922-acre tract of land situated in the N. M. BALLARD Survey, Abstract No. 24, and in the A. HANNA Survey, Abstract No. 99, in the City of Rockwall, Rockwall County, Texas, and being part of a 48.033-acre tract of land described in the deed from Eva E. Tadlock, a widow, and C. W. Tadlock to Max Scheid, Trustee, dated 18th day of July, 1972, and recorded in Volume 103, at Page 791 of the Deed Records of Rockwall County, Texas, and being the remainder of that certain 5-acre tract of land described in the deed from Max Scheid, Trustee to Gaston and Gaston Auctioneers, Inc. dated the 10th day of October 1978, and recorded in Volume 137, at Page 832 of the said Deed Records of Rockwall County, Texas, said tract being more particularly described as follows:

BEGINNING at a 3-inch aluminum TxDOT monument found in place on the Westerly line of the above mentioned 48.033-acre tract at its intersection with the Southerly right-of-way line of Interstate Highway 30, said 3-inch aluminum TxDOT monument marking the most Southerly Southwest corner of a 3,450 square-foot tract of land described in the deed from Marty K. Salley, et vir Oscar Salley, to the State of Texas, dated the 16th day of January, 2010, and recorded in County Clerk's Document No. 2010 00430987 (Volume 6069, at Page 254) of the said Deed Records of Rockwall County, Texas, and having coordinates based on the Texas Coordinate System of 1983, North Central Zone of:

X = 2,601,110.56 U. S. Survey Feet

Y = 7,021,781.94 U. S. Survey Feet

(Reported as North 7,022,808.07, East 2,601,490.67 based on the TxDOT conversion factor of 1.000146135 in the cited deed to the State of Texas)

THENCE with the Southeasterly right-of-way line of Interstate Highway No. 30 and the Southeasterly line of the above mentioned 3,450-square-foot State of Texas tract the following two courses and distances:

1. N 72 degrees 46 minutes 00 seconds E 308.48 feet

~~2. S 65 degrees 17 minutes 09 seconds E 23.86 feet to a 3-inch aluminum TxDOT monument found in place on the~~
Westerly right-of-way line of Commerce Street (a 60-foot right-of-way) according to the Map thereof recorded in Cabinet B on Slide 323 of the Map and Plat Records of Rockwall County, Texas, and being in the Westerly line of a 5-acre tract described in the deed from Max Scheid, Trustee to Rockwall Church of Christ, dated the 15th day of December, 1977, and recorded in Volume 131, at Page 405 of the said Deed Records of Rockwall County, Texas;

THENCE S 00 degrees 40 minutes 20 seconds E with the Westerly right-of-way line of Commerce Street at a distance of 622.43 feet pass a 5/8-inch steel rod found (called to be the Southwest corner of the last mentioned 5-acre tract but fails to satisfy the called distance for the Westerly line of that tract) and continuing on the same course for an additional distance of 84.93 feet for a total distance of 707.36 feet to a 3/8-inch steel rod found;

THENCE S 89 degrees 22 minutes 30 seconds W for a distance of 317.00 feet to a 3/8-inch steel rod found;

THENCE N 00 degrees 41 minutes 38 seconds W for a distance of 629.40 feet to the PLACE OF BEGINNING and containing 4.922 acres of land.

TRACT II

BEING a 21.684-acre portion of a called 22.303-acre tract of land described in the deed from Thomas E. Haack to Thomas Real Estate, L.P. dated November 12, 1998, and recorded in Volume 1507, at Page 203 of the Deed Records of Rockwall County, Texas (DRRCT) and being situated in the N.M. Ballard Survey, Abstract No. 24, City of Rockwall, Rockwall County, Texas, and also being part of a called 25.281-acre tract of land described in the deed from Haldeman, Inc. to Buddy R. Haldeman dated the 20th day of March, 1984, and recorded in Volume 193, at Page 406 DRRCT and being more particularly described as follows:

BEGINNING at a 1/2-inch steel rod found at the intersection of the northeasterly right-of-way line of High School Drive (a variable width right-of-way commonly known as T.L. Townsend Drive) with the easterly line of Bodin Industrial Tract according to the plat thereof recorded in Cabinet A, on Slide 347 of the DRRCT said 1/2-inch steel rod also marking the most southerly or southeasterly corner of a 1-acre lot, tract or parcel described in the deed from James Valk et ux to James Valk, Sr. et al dated the 23rd day of March, 2010, and recorded in Volume 6070, at Page 268 DRRCT, and having coordinates of:

X. 2,600,974.41 U. S. Survey Feet

Y. 7,019,534.15 U. S. Survey Feet;

THENCE:

N 00°21'13" W with the westerly line of the 22.303-acre tract and with easterly line of the last mentioned Bodin Industrial Tract at a distance of 304.86 feet pass 1/2-inch steel rod found
And continuing on the same course and with the common line between the 22.303-acre tract and Bodin Industrial Tract at an additional distance of 376.39 feet pass one foot west of a 1/2-inch steel rod found

And continuing on the same course and with the common line between the 22.303-acre tract and Bodin Industrial Tract at an additional distance of 863.78 feet pass a 3/8-inch steel rod found marking the northeasterly corner of a 1-acre tract or parcel of land described in the deed from John W. McDaniel et ux to IRT Construction, Inc., dated December 31, 1997, and recorded in Volume 1314, at Page 250 of the DRRCT

And continuing on the same course and with the common line between the 22.303-acre tract and Bodin Industrial Tract at an additional distance of 71.85 feet for a total distance of 1,616.88 feet (called: 1,625.74 feet) to a 1/2-inch steel rod found for the southwest corner of a 2.16-acre tract of land described in the deed from Global Properties, Ltd. to Rockwall Credit Services, L.C. dated September 30, 2005, and recorded in Volume 4314, at Page 34 DRRCT;

THENCE N 89°22'30" E with the northerly line of the 22.303-acre tract and the southerly line of the last mentioned 2.16-acre Rockwall Credit Services tract at a distance of 153.71 feet pass a 3/8-inch steel rod marking the southeast corner of said 2.16-acre tract the same being the southwest corner of a 4.922-acre tract described in the deed from Marty K. Salley et vir to Gordon Rockwall Investments, LLC dated 2nd day of October, 2012, and recorded in Volume 6939, at Page 100 DRRCT and continuing on the same course with the northerly line of the 22.303-acre tract and the southerly line of the last mentioned 4.922-acre tract an additional distance of 317.00 feet for a total distance of 470.71 feet to a 3/8-inch steel rod found marking the southeast corner of said 4.922-acre tract;

THENCE N 68°46'16" E with the northerly line of the 22.303-acre tract for a distance of 63.21 feet to a 1/2-inch steel rod found in the westerly boundary line of Rockwall Recreation Addition according to the plat thereof recorded in Cabinet F, on Slide 379 DRRCT;

THENCE S 00°35'03" E with the westerly boundary line of said Rockwall Recreation Addition for a distance of 433.41 feet to a 5/8-inch steel rod found for the southwest corner of said addition;

THENCE N 89°28'30" E with a northerly line of the 22.303-acre tract and departing the Rockwall Recreation Addition for a distance of 261.25 feet to a 5/8-inch steel rod for its most easterly northeast corner from which a 1/2-inch steel rod marking the southeast corner of said Rockwall Recreation Addition bears N 01°02'39" W a distance of 24.60 feet;

TRACT III

Being a part of Lot 1, Block 1, of ROCKWALL RECREATIONAL ADDITION, an Addition to the City of Rockwall County, Texas, according to the Plat thereof recorded in Cabinet F, Slide 379, of the Plat Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1" iron pipe found for corner in the southeast right-of-way line of Interstate Highway 36, at the northeast corner of said Lot 1, Block 1;

THENCE S. 00 deg. 20 min. 22 sec. E. along the east line of said street, a distance of 212.96 feet to a 3/8" iron rod found for corner;

THENCE S. 01 deg. 26 min. 34 sec. W. along the east line of said Lot 1, Block 1, a distance of 452.34 feet to a 5/8" iron rod found for corner;

THENCE S. 00 deg. 02 min. 16 sec. W. along the east line of said Lot 1, Block 1, a distance of 83.77 feet to a 1/2" iron rod found for corner at the southeast corner of same, and being in the north line of a 60 foot street dedication per plat;

THENCE S. 89 deg. 52 min. 00 sec. W. along the north line of said street dedication, a distance of 262.48 feet to a 1/2" iron rod found for corner at the southwest corner of said Lot 1, Block 1, and being in the east right-of-way line of Cammeres Street per plat in Ch. B, Slide 323;

THENCE N. 00 deg. 08 min. 00 sec. W. along said right-of-way line, a distance of 667.32 feet to an "X" chiseled in concrete for corner in the southeast right-of-way line of Interstate Highway 30 per Volume 6050, Page 116 of the Official Public Records of Rockwall County, Texas;

THENCE N. 37 deg. 19 min. 40 sec. E. along said right-of-way line, a distance of 12.87 feet to a point for corner;

THENCE N. 77 deg. 30 min. 28 sec. E. along said right-of-way line, a distance of 108.87 feet to a 1/2" iron rod found for corner;

THENCE N. 73 deg. 15 min. 39 sec. E. along said right-of-way line, a distance of 167.20 feet to the **POINT OF BEGINNING** and containing 191,336 square feet or 4.39 acres of land.

TRACT IV

Being Lot 1, Block 2 of ROCKWALL RECREATIONAL ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet F, Slide 379, of the Plat Records of Rockwall County, Texas.

THENCE S 00°31'33"E with the easterly line of said 22.303-acre tract at a distance of 389.26 feet pass 7.5 feet west of a Flood Plain Monument called on Sheet 2 of 6 of the plat of the Mansions Senior Addition according to the plat thereof recorded in Cabinet G, on Slide 389-394 DRRCT and continue on the same course and with the easterly line of said 22.303-acre tract for an additional distance of 378.14 feet for a total distance of 767.40 feet to a point on the platted northerly line of Lot 1, Block 1 Houser Addition according to the plat thereof recorded in Cabinet B, at Slide 174 of the Map Records of Rockwall County, Texas, and being N 73°16'24"W a distance of 8.07 feet from the northeast corner of said Lot 1;

THENCE generally along the high bank of Buffalo Creek the following six (6) courses and distances:

N 41°18'30" W a distance of 74.72 feet to a 5/8-inch steel rod set with an orange plastic cap stamped "R-DELTA ENGINEERS"

S 86°07'24" W a distance of 102.81 feet to a 5/8-inch steel rod set with an orange plastic cap stamped "R-DELTA ENGINEERS"

S 69°01'44" W a distance of 61.40 feet to a 5/8-inch steel rod set with an orange plastic cap stamped "R-DELTA ENGINEERS"

S 62°32'37" W a distance of 38.24 feet to a 5/8-inch steel rod set with an orange plastic cap stamped "R-DELTA ENGINEERS"

S 41°12'23" W a distance of 70.66 feet to a 5/8-inch steel rod set with an orange plastic cap stamped "R-DELTA ENGINEERS"

S 80°55'55" W a distance of 79.86 feet to the northwest corner of said Lot 1, Block 1 Houser Addition, from which a 1/2-inch steel rod found bears S 00°13'03" E a distance of 40.51 feet and a 5/8-inch steel rod set in the thread of Buffalo Creek with an orange plastic cap stamped "R-DELTA ENGINEERS" bears N 20°W a distance of 0.45 feet;

THENCE with the thread of said Buffalo Creek the following eight (8) courses and distances:

S 74°05'53" W a distance of 31.97 feet;

N 34°02'33" W a distance of 39.97 feet;

~~S 73°38'14" W a distance of 97.75 feet;~~

S 02°51'37" W a distance of 93.25 feet;

S 16°31'48" E a distance of 69.66 feet;

S 24°26'02" W a distance of 76.47 feet;

S 38°41'24" W a distance of 251.24 feet;

S 57°43'03" W a distance of 62.30 feet to a point on the northeasterly right-of-way line of High School Drive;

THENCE N 35°21'16" W with the northeasterly right-of-way line of High School Drive a distance of 87.69 feet to the PLACE OF BEGINNING and containing 944,552 square feet or 21.684 acres of land.

3. Explain how, if the variance is not granted, it will cause an unnecessary hardship for you to use your property for a valid purpose: (a hardship may not be self-imposed or financial in nature)

If the variance is not granted we
will not be able to close our love
of Country and State to the people of
Rockwall and all who travel through.
~~There will be~~ The large flag will create
goodwill and good feelings throughout
the community.

Owner of Property 1540 EAST IH 30 ROCKWALL, LLC

Name of Applicant CLAY E COOLEY

Address ~~1540~~ 1540 E. I-30 HWY

City, State, Zip Rockwall TX 75087 Telephone (214) 597 8697

Signature Clay Cooley Date 6/23/20

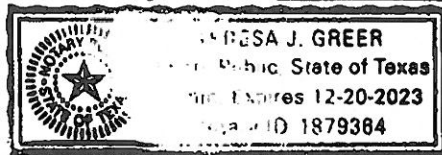
OWNER'S AFFIDAVIT

State of Texas
County of Dallas

Before me the undersigned on this day personally appeared CLAY COOLEY
who on his/her oath certifies that the above/attached statements are true and correct and that he/she is the legal owner of the
property.

Clay Cooley
Property Owner Signature

Subscribed and sworn to before me this 23 day of June, 2020.



J. Greer
Notary Public In and For Dallas County, TX

Community Development Department
Building Inspection Division

Signs/BOA/BOASignApp

Commerce St.

E Interstate 30

Frontage Rd.

Grass

Grass

Clay Cooley

Ayuneleii

Flagpole

Grass

DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE

STANDARD FITTINGS

FINIAL: (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

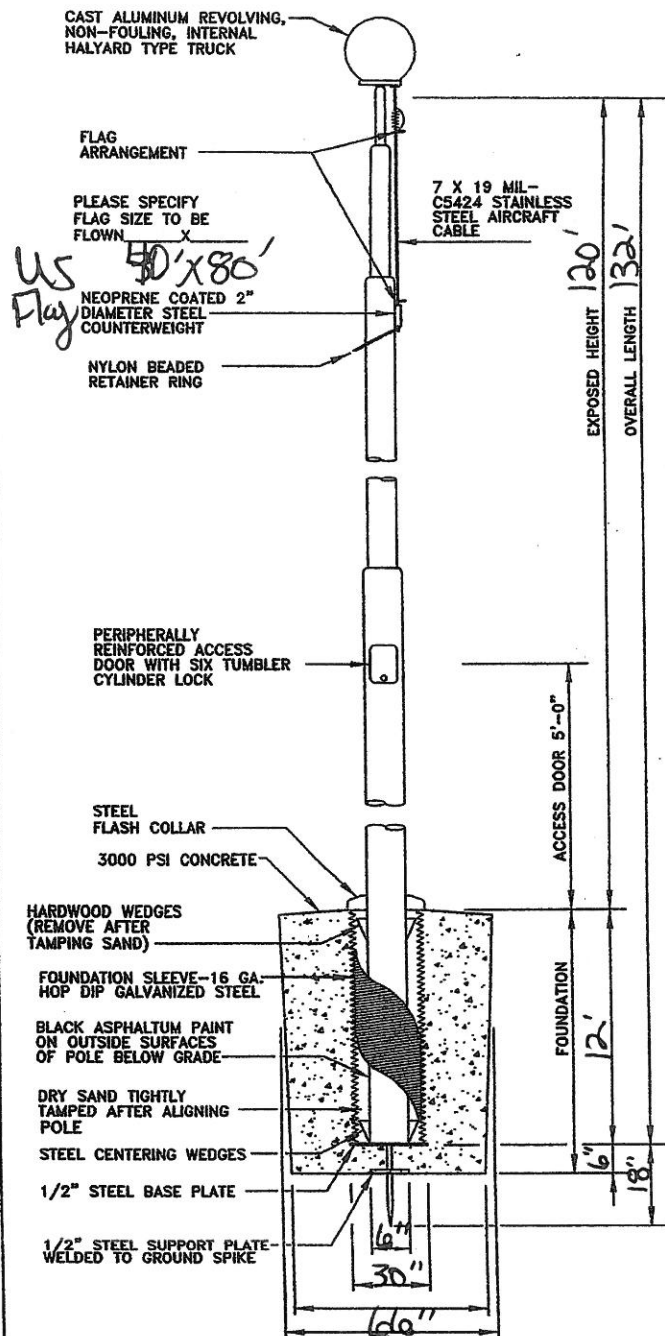
TRUCK: Heavy duty, cast aluminium, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

HALYARD: Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

WINCH: Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

*Electric Winch
See Attached*

FOUNDATION TUBE: Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



PROJECT NO.	CL	GROUND SET DIM. SECTION STEEL FLAGPOLE
LOC. Rockwall, TX	EXP. HT. 120'	OVERALL HT. 132' NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 6.625" WALL THICKNESS .375
CONT R:	SHF IN 5 SEC.	FINISH: Powder Coat
CUST: Clay Coody Hyundai		

EXPOSED	OVERALL	TOP	BOTTOM	BUTT WALL	SHIP	NO. OF	FLAG	SHIPPING
HEIGHT	LENGTH	DIAMETER	DIAMETER	THICKNESS	SECTIONS	SECTIONS	SIZE	WEIGHT
120'	132'	6.625"	24"	.375	5	5	40'x80	10,000#

WARNING: Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.



KIA Dealership



Buick/GMC Dealership



Ford Dealership



Honda Dealership



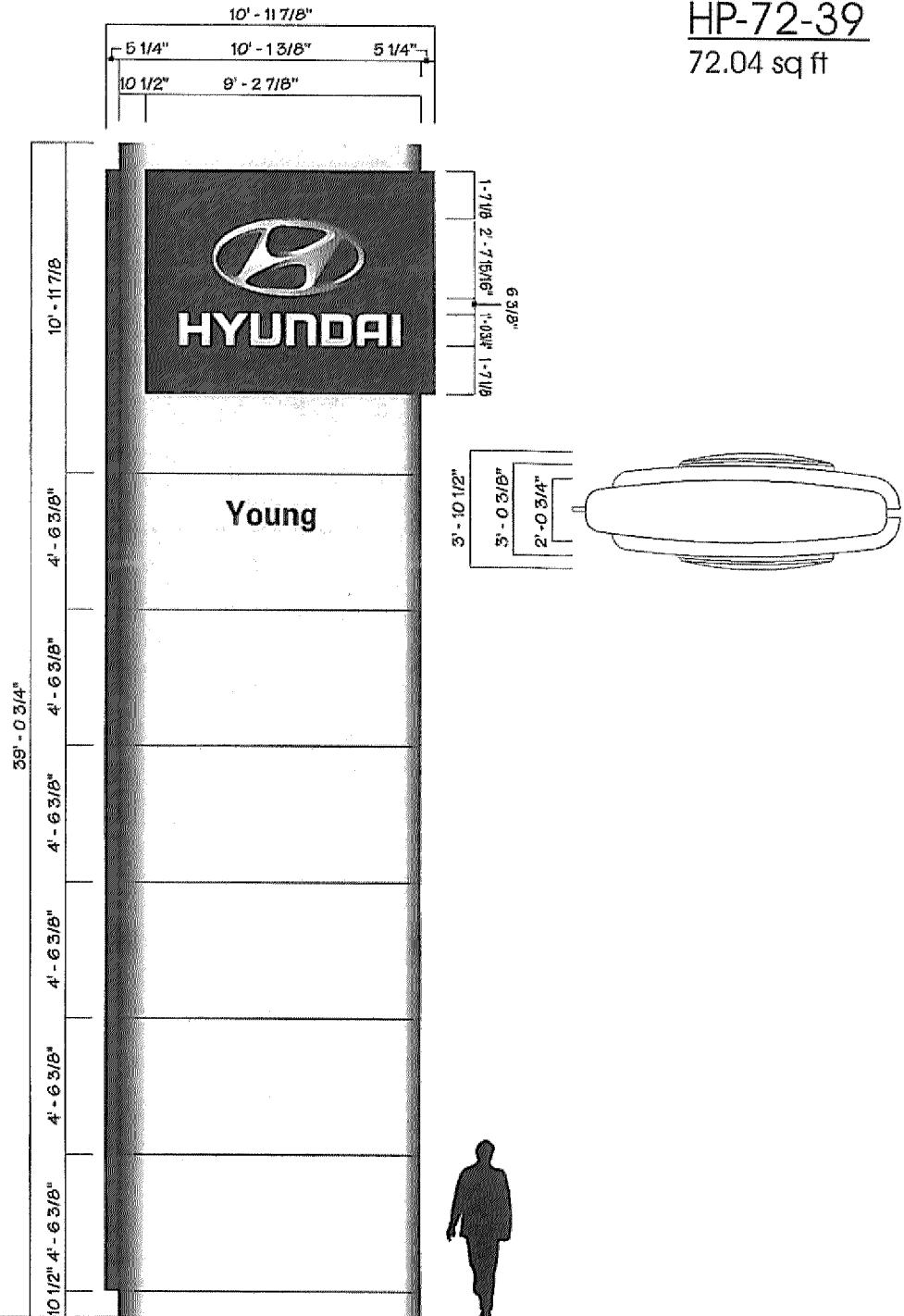
Toyota Dealership

PYLONS

Dealer Name Text will vary.

HP-72-39

72.04 sq ft



The final sign location is to be determined by the authority having jurisdiction.
The approved location may vary from what is depicted in the rendering.

STREET SIDE →

Site ID: Hyundai TX159

Drawn by: MAR



AGI Rep: JWB

Scale: 3/16"=1'

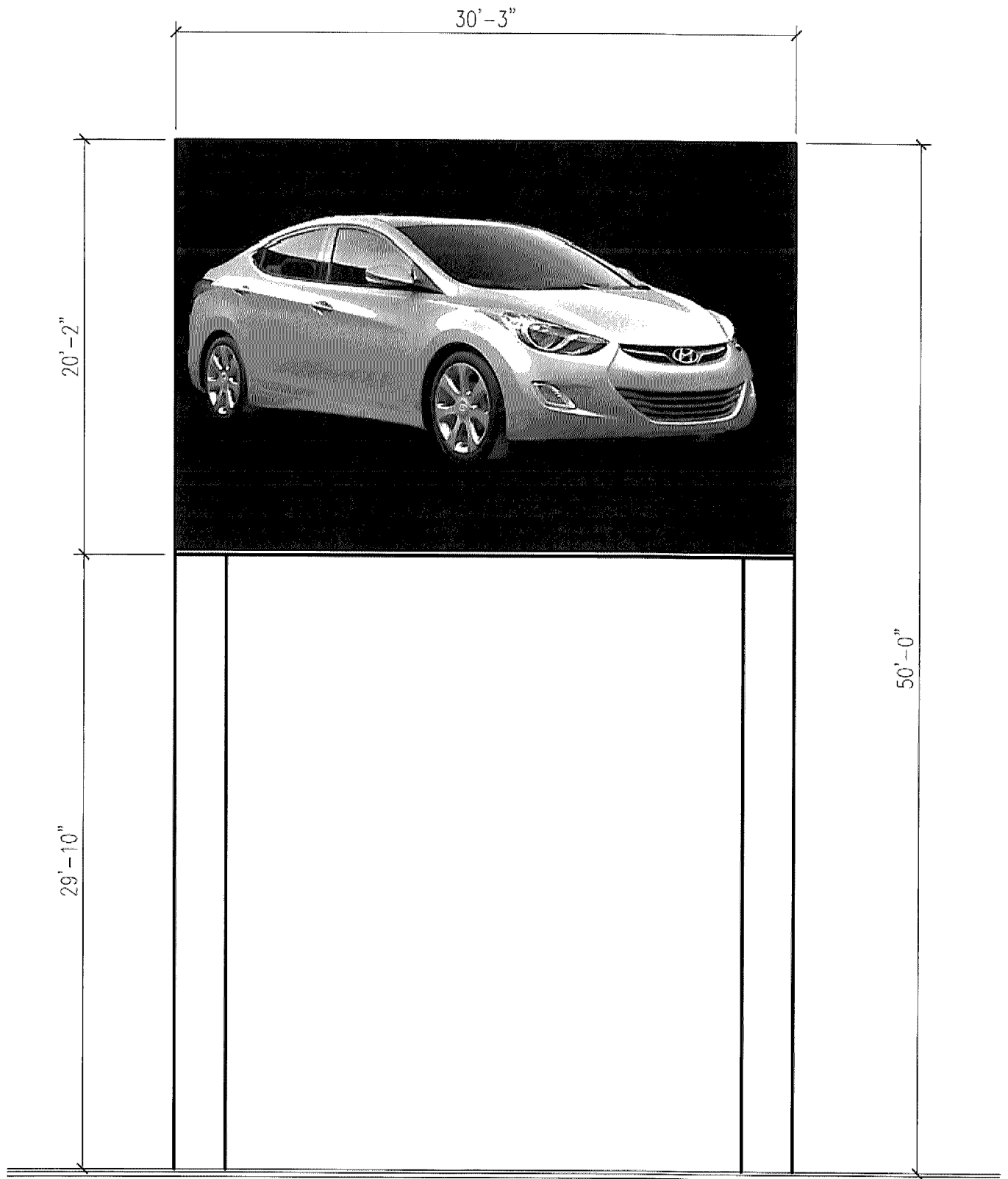
Date: 6/28/11

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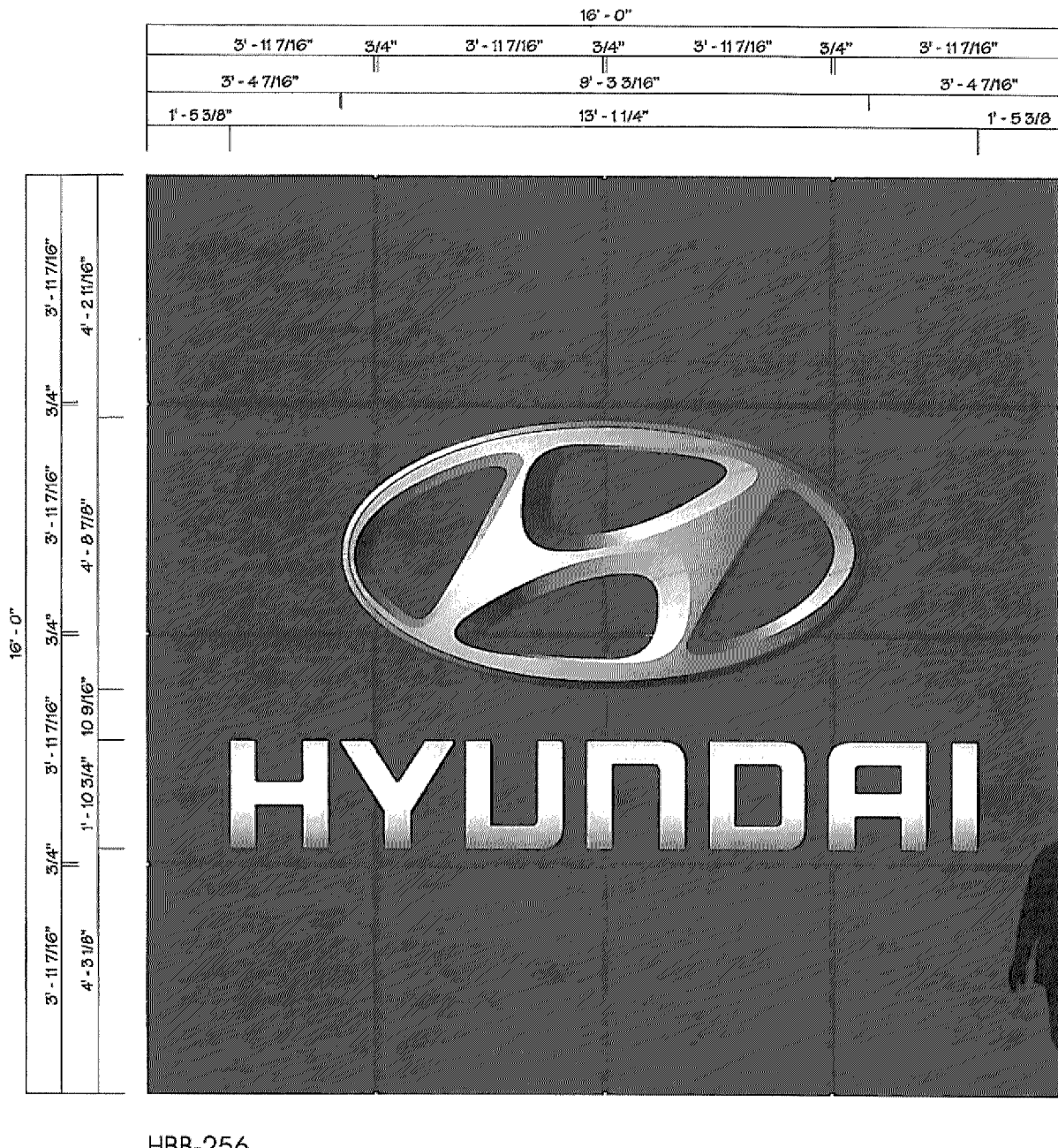
Architectural Graphics, Inc.

2655 International Pkwy., Virginia Beach, VA 23452
PHONE: (757) 427-1900 - Fax (757) 430-1297
www.AGSign.com



ELECTRONIC MESSAGE DISPLAY

"BLUE BOX" ARCHITECTURAL ELEMENTS



HBB-256
98.00 sq ft (SYMBOL & LOGO)

Site ID: Hyundai TX159 984

Drawn by: MAR



AGI Rep: JWB

Scale: 3/8" = 1' - 0"

Date: 8/15/11

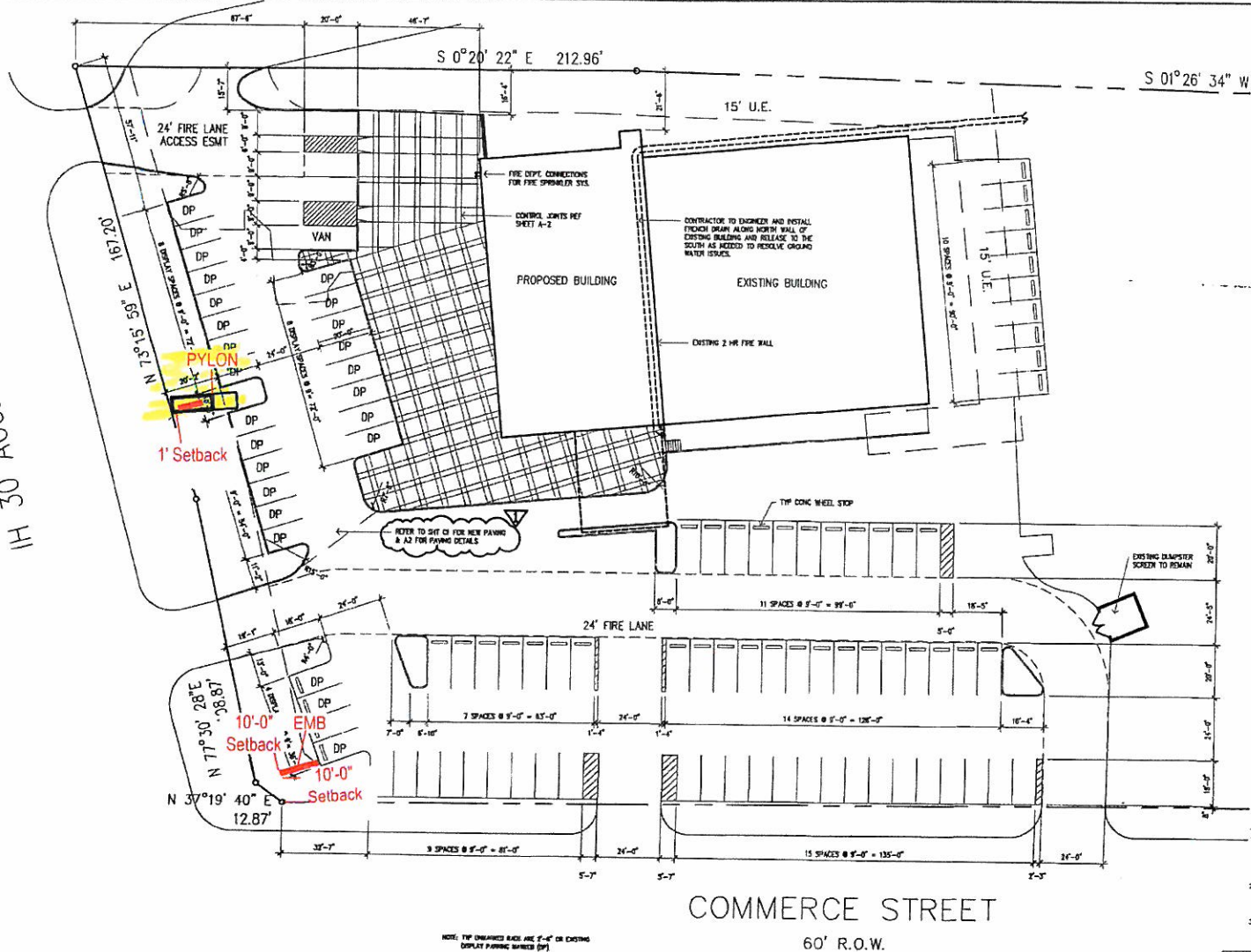
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2655 International Pkwy., Virginia Beach, VA 23452
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www.AGISign.com

IH 30 ACCESS ROAD



NOTE: TYP UNPAVED RACE ARE 4'-0" ON EXISTING
DISPLAY PARKING SPACES (DP)

COMMERCE STREET

60' R.O.W.

Site ID: TX159 Young Hyundai

Location:

Rockwall, TX

Survey ID:

Date: 1/9/13

AGI Rep: JWB

Drawn by: MAR

Project Title:

Scale: 1"=40'

Date Revised:

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www.AGIconline.com

Keep on Job Site At All Times
For Inspector's Use

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *STRUCTURE THAT EXCEEDS 60-FEET IN HEIGHT IN A LIGHT INDUSTRIAL (LI) DISTRICT* TO ALLOW THE CONSTRUCTION OF A FLAG POLE ON A 4.39-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK 1, ROCKWALL RECREATIONAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Nabiha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) for a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* to allow the construction of a flag pole on an existing motor vehicle dealership on a 4.39-acre parcel of land being described as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1540 E. IH-30, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* to allow the construction of a flag pole on an existing motor vehicle dealership in accordance with Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, and Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction and continued operation of a flag pole on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of a flag pole on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a flag pole on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) The proposed flag pole shall not exceed a maximum overall height of 120-feet as measured from grade.
- 4) The flag shall be maintained in good condition free of tears, rips, fraying, or fading.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map and Survey

Address: 1540 E. IH-30

Legal Description: Lot 1, Block 1, Rockwall Recreational Addition

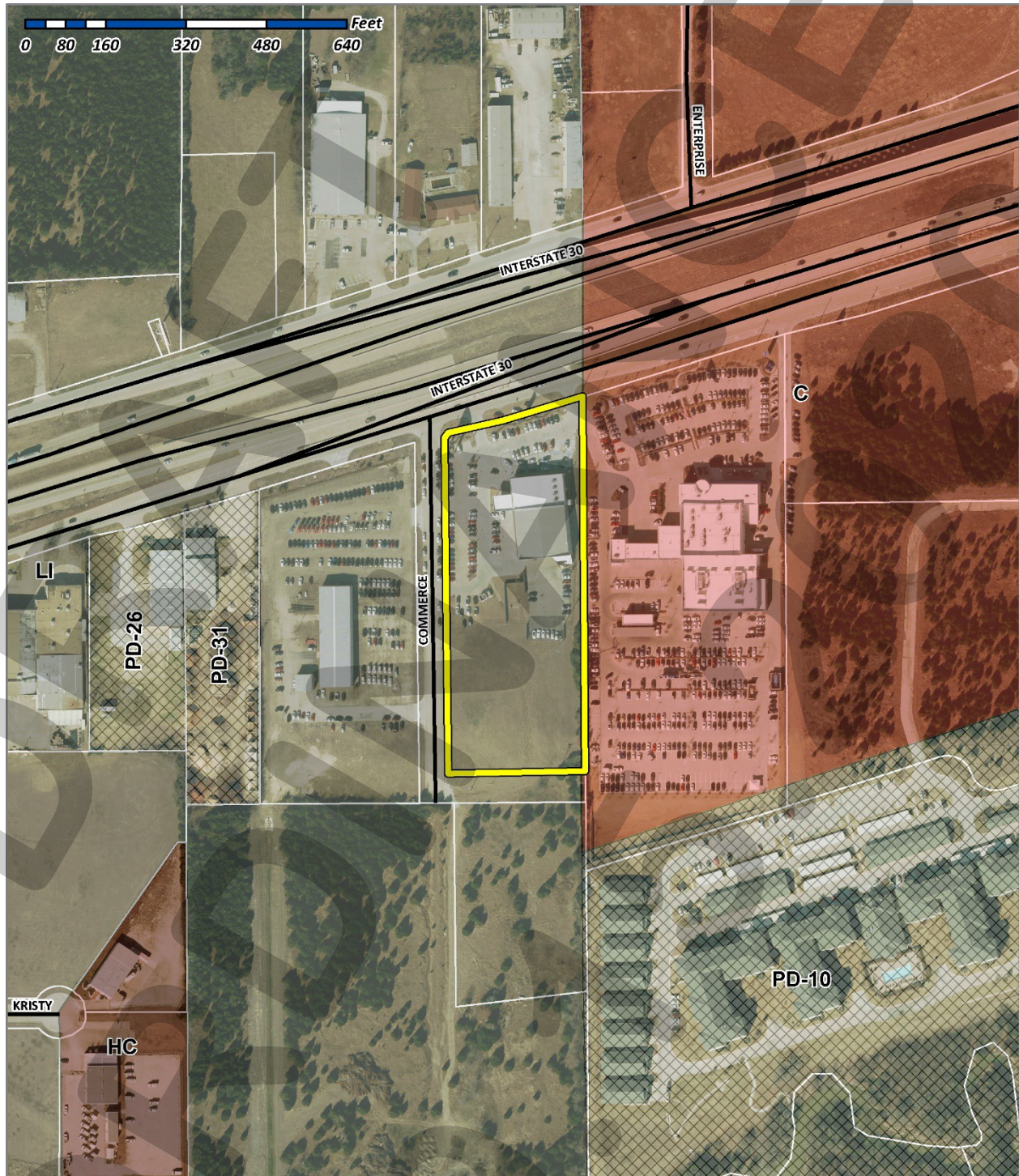


Exhibit 'B':
Concept Plan

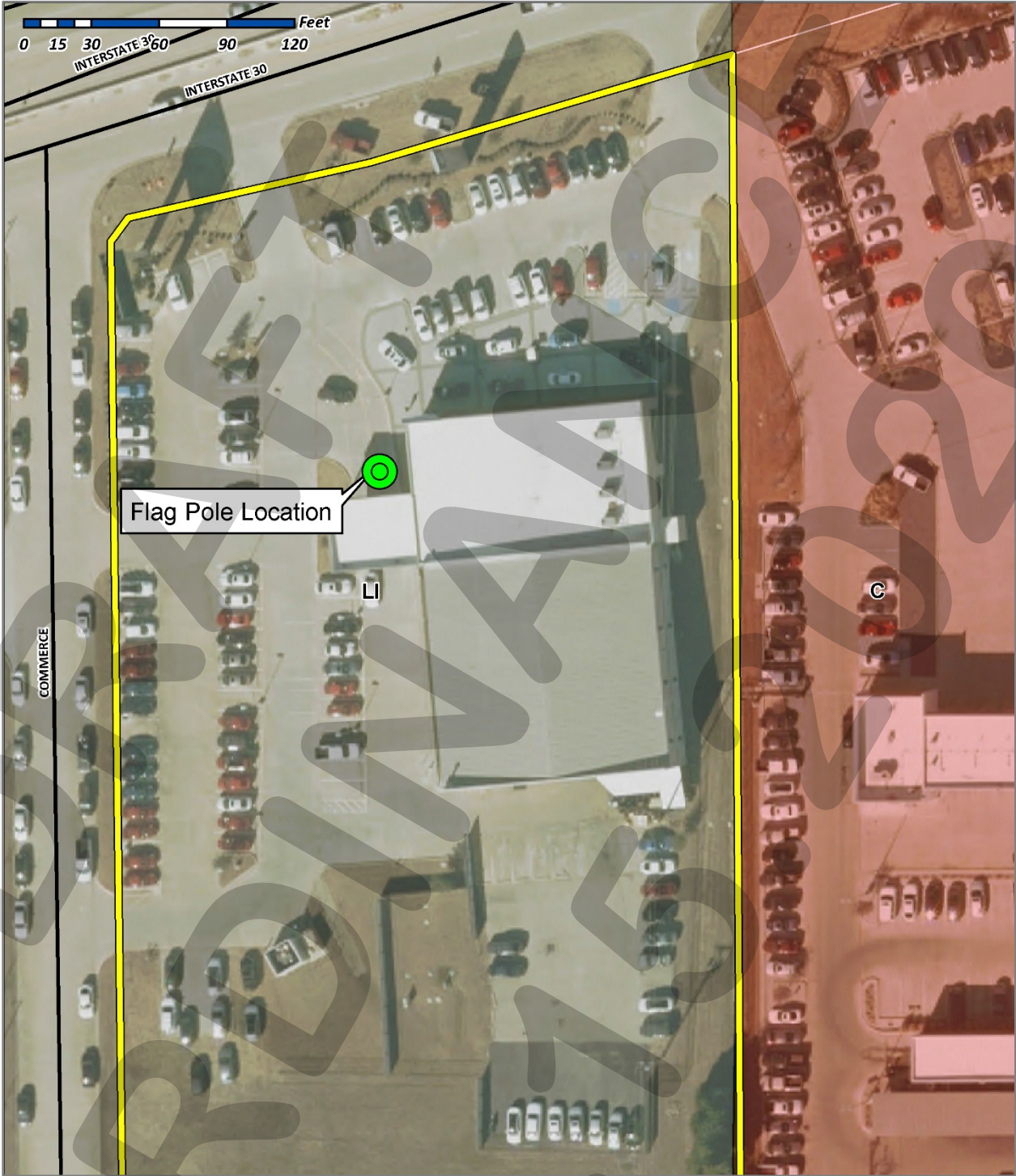


Exhibit 'C': Flag Pole Elevations

DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE

STANDARD FITTINGS

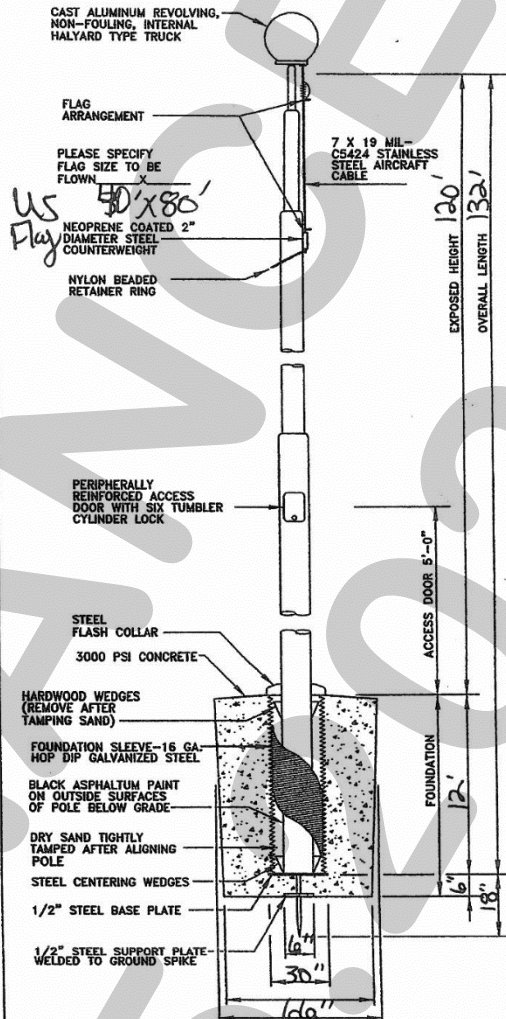
FINIAL: (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

TRUCK: Heavy duty, cast aluminium, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

HALYARD: Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

WINCH: Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

FOUNDATION TUBE: Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE
LOC. Rockwall, TX	EXP. HT. 120' OVERALL HT. 132' NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24" TOP DIA. 16.625" WALL THICKNESS: .375
CONT R:	SHF IN 5 SEC. FINISH: powder coat
CUST: Clay Coody Hyundai	

EXPOSED	OVERALL	TOP	BOTTOM	BUTT WALL	SHIP	NO. OF	FLAG	SHIPPING
HEIGHT	LENGTH	DIAMETER	DIAMETER	THICKNESS	SECTIONS	SECTIONS	SIZE	WEIGHT
120'	132'	6.625"	24"	.375	5	5	40'x80	10,600#

WARNING: Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: September 15, 2020

APPLICANT: Casey Orr, PE; *Wier & Associates, Inc.*

CASE NUMBER: Z2020-037; *Specific Use Permit for a Restaurant, Less Than 2,000 SF, with a Drive-Through at 150 Pecan Valley Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

BACKGROUND

The subject property -- *which is a portion of a larger 2.356-acre tract of land* -- was annexed into the City of Rockwall on February 3, 1961 by *Ordinance No. 61-02*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The property would remain zoned Agricultural (AG) District until January 3, 2006 when the City Council approved Planned Development District 65 (PD-65) [*Ordinance No. 06-02; Case No. Z2004-037*]. This Planned Development District designated the subject property for General Retail (GR) District land uses. Since the establishment of Planned Development District 65 (PD-65), the Planned Development District has been amended three (3) times (*i.e. Ordinance No.'s 08-02, 10-28, & 17-03*); however, the designation of the subject property has remained for General Retail (GR) District land uses.

On July 9, 2019, the 2.356-acre tract of land -- *of which the 0.579-acre subject property is a part of* -- was approved for a site plan [*Case No. SP2019-023*] for an ~11,000 SF strip retail building. This portion of the tract of land is currently under construction, and physically separated from the subject property by flood plain that traverses the tract of land from N. Goliad Street to Pecan Valley Drive/Quail Run Road. Submitted concurrently with the site plan request for the 2.356-acre tract of land, was a Specific Use Permit (SUP) application for a *Restaurant, Less Than 2,000 SF, with Drive-Through or Drive-In* on the subject property [*Case No. Z2019-014*]; however, this request was ultimately withdrawn by the applicant on August 6, 2019. In addition, a final plat [*Case No. P2020-034*] was submitted for the entire 2.356-acre tract of land (*i.e. including the subject property*) and is currently being run concurrently with this case.

On June 19, 2020, the applicant had previously submitted same request as to what is being proposed currently (*i.e. for a Specific Use Permit [SUP] for a Restaurant, Less Than 2,000 SF, with Drive-Through or Drive-In*) under *Case No. Z2020-026*. This request was presented to the Planning and Zoning Commission on July 14, 2020, and was unanimously recommended for denial by a vote of 6-0, with Commissioner Moeller absent. Based on this, the applicant requested that the City Council withdraw the case. This withdraw request was approved by the City Council on July 20, 2020 by a vote of 7-0. After this action, the applicant resubmitted an application for the same request (*i.e. for a Specific Use Permit [SUP] for a restaurant, less than 2,000 SF, with drive-through or drive-in*). The only new materials provided with the reapplication were renderings of the building, an indication that the restaurant would be a *Smoothie King*, and a concept plan showing the inclusion of a walking trail.

PURPOSE

The applicant -- *Casey Orr, PE of Wier & Associates, Inc.* -- is requesting the approval of a Specific Use Permit (SUP) for a *Restaurant Less Than 2,000 SF with a Drive-Through/Drive-In* for the purpose of developing a restaurant (*i.e. Smoothie King*) on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 150 Pecan Valley Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a ~11,000 SF strip retail building on the same tract of land as the subject property. This building is currently under construction and is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses. Beyond this is a daycare facility (*i.e. Children's Lighthouse Daycare*) situated on a 3.543-acre parcel of land (*i.e. Lot 1, Block A, Children's Lighthouse Addition*), which is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses and Agricultural (AG) District. The Agricultural (AG) District portion of this property has a Specific Use Permit (SUP) for a daycare facility (*i.e. S-140; Ordinance No. 15-22*).

South: Directly south of the subject property is Pecan Valley Drive, which is designated as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a retail store and pharmacy (*i.e. Walgreens Pharmacy*) situated on a 1.9894-acre parcel of land (*i.e. Lot 1, Block B, North Lakeshore Valley*), which is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses. Beyond this is N. Lakeshore Drive, which is designated as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is designated as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a retail store and pharmacy (*i.e. CVS Pharmacy*) situated on a 2.519-acre parcel of land (*i.e. Lot 1R, Block B, Quail Run Retail*), which is zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses. Also, east of the subject property is a 62.484-acre tract of land (*i.e. Tract 3 of the S. King Survey, Abstract No. 131*) that is zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses.

West: Directly west of the subject property is Quail Run Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 11.723-acre tract of vacant land (*i.e. Tract 5 of the S. King Survey, Abstract No. 131*) that is owned by the City of Rockwall and zoned Planned Development District 65 (PD-65) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the layout of a 1,415 SF limited service restaurant with a drive-through on the subject property. Based on the concept plan the building will be oriented toward S. Goliad Street, but will have only one (1) point of ingress/egress that will be on Quail Run Road. The drive-through lane will wrap around the building, and will not incorporate a *bailout* lane. The *food delivery/payment window* will be oriented north toward the floodplain and adjacent strip retail building, and the *restaurant ordering board* (*i.e. the point of order*) will be oriented facing directly onto N. Goliad Street approximately 37-feet from the right-of-way. In addition, the concept plan depicts eight (8) vehicles being able to be cued in the drive-through lane (*i.e. five [5] vehicles between the food delivery/payment window and the restaurant ordering board and three [3] vehicles behind the vehicle at the restaurant ordering board*) with headlight screening being included along N. Goliad Street. The concept plan also shows the provision of five (5) parking spaces and the location of trash dumpster enclosure.

CONFORMANCE WITH THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Restaurant Less Than 2,000 SF with a Drive-Through or Drive-In* land use requires a Specific Use Permit (SUP) in a General Retail (GR) District. In addition, Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also requires the following land use conditions as part of the establishment of this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair the visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lands for drive-through service window (*i.e. the food delivery/payment window*) shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

In this case, the submitted site plan does show conformance to the minimum stacking requirements and provides shrubs along N. Goliad Street to help impair the visibility of headlights; however, the proposed concept plan shows the business making use of Quail Run Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) or a residential street on the Master Thoroughfare Plan. In considering this non-conformity, it is important for staff to point out that the strip retail center currently being built north of the subject property already has a drive approach off of Quail Run Road, and that commercial traffic will be utilizing this portion of the roadway regardless of if this Specific Use Permit (SUP) is approved. It should also point out that additional landscaping -- *above and beyond what is depicted on the concept plan* -- will need to be provided to sufficiently screen the headlights of vehicles in the drive-through lane. Staff should also note that due to existing easements on the site, it may be difficult for the applicant to provide the required landscaping necessary to screen the headlights shining on to N. Goliad Street. If this proves to be the case, a three (3) foot masonry wall can be incorporated adjacent to the drive-through lane to achieve the same screening. This can be determined on the *Landscape Plan* submittal with the *Site Plan*, and an operation condition addressing this issue has been added to the attached draft ordinance.

In addition to not meeting the land uses standards, another issue with the proposed drive approach on Quail Run Road is its distance to the intersection of Pecan Valley Drive and Quail Run Road. According to the Engineering Department's *Standards of Design and Construction*, the minimum driveway spacing from an intersection of a R2 (*i.e. residential, two [2] lane, undivided roadway*) and a *Collector* is 100-feet. In this case, the driveway spacing is 37-feet from the intersection of Quail Run Road and Pecan Valley Road and the southernmost point of the proposed drive approach.

According to the City's parking requirements contained in Article 06, *Parking and Loading*, of the Unified Development Code (UDC), a *limited service restaurant* carries a parking requirement of one (1) parking space per 250 SF of building area. In this case, this would translate to a minimum of six (6) parking space (*i.e. 1,415 SF/250 SF = 5.66 or 6 parking spaces*). The proposed concept plan currently only depicts five (5) parking spaces. In addition, Subsection 01.05(B), *Trash/Recycling Enclosures*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states "...enclosures shall be located to the side or rear of the primary buildings, and shall not front on to a public right-of-way." In this case, the proposed trash enclosure fronts onto Pecan Valley Drive and would need a variance to this requirement.

Finally, staff should point out that as part of this amended request the applicant -- *unsolicited by staff* -- has incorporated a trail system that was not on the original, resubmitted concept plan. Since this was provided by the applicant it will be a requirement of the Specific Use Permit (SUP) ordinance; however, a portion of this trail system shows to be running into the 100-year floodplain. In order to do this, the applicant will need to perform a Flood/Waters of the United States Study and provide an updated tree mitigation plan for the site. This has been added as a condition of approval in the *Recommendation* section of this case memo.

With the exception of these items the concept plan appears to meet the design requirements for the General Retail (GR) District and Planned Development District 65 (PD-65). The submitted building renderings will be subject to both the requirements of the N. SH-205 Overlay (N. SH-205 OV) District and review by the Architectural Review Board (ARB) at the time of site plan. Based on this, these elevations are not being proposed to be tied down as part of this case.

STAFF ANALYSIS

Due to the site constraints of this particular property, it would be difficult for the applicant to meet the compensatory requirements -- *which are stipulated by the Unified Development Code (UDC)* -- needed to off-set the variances depicted on the applicant's concept plan. As a result, the following waivers/variances need to be considered as part of this Specific Use Permit (SUP) request:

- (1) A variance to the locational requirements for a trash enclosure.
- (2) A variance to the parking requirements to reduce the parking from the required six (6) parking spaces to five (5) parking spaces.
- (3) A waiver to the driveway spacing requirements to allow a drive approach to be 37-feet away from the intersection of a collector and a residential roadway.
- (4) A waiver to allow a *Restaurant Less Than 2,000 SF with a Drive-Through/Drive-In* to only have access on to a residential roadway.

As previously stated, the strip retail center to the north -- *which is located on the same tract of land as the subject property* -- also has a drive approach on to Quail Run Road; however, this development also has an approach on to SH-205, which the subject property is not capable of. This means that all traffic generated on the subject property will have to make use of Quail Run Road.

It may also be material for staff to note that when the applicants originally met with staff about the strip retail center, staff informed the applicants that due to the site constraints (*i.e. flood plain, easements, buildable area, frontage on three [3] roadways, etc.*) it would be difficult for a building to be constructed on this portion of the property. Staff also explained that it was unsafe to allow a drive approach off of N. Goliad Street, Pecan Valley Drive, and/or Quail Run Road. At that time, the applicants were proposing a plan that showed a bridge connecting the subject property to the remainder of the tract (*i.e. where the strip retail center is being constructed*). Since this time, the applicant has attempted three (3) submittals on this property, all of which have been for limited service restaurants. Two (2) of these applications were withdrawn, with one (1) being withdrawn after the work session with the Planning and Zoning Commission and one (1) being withdrawn after the Planning and Zoning Commission's recommendation of denial. With all of this being said, any request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On August 15, 2020, staff mailed 35 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Shore on Lake Ray Hubbard, Random Oaks/Shores, Stone Creek, Quail Run Valley, and Lakeview Summit Homeowners Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received 13 responses (*i.e. eight (8) emails and five (5) property owner notifications*) opposed to the applicant's request and one (1) property owner notification in favor of the applicants request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through/Drive-In* for the purpose of constructing a restaurant (*i.e. Smoothie King*), then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance.

- (b) Additional landscaping, a berm, and/or a masonry wall may be required by staff at the time of site plan along Pecan Valley Drive and N. Goliad Street to provide headlight screening for vehicles traveling along N. Goliad Street from vehicles in the drive-through and cueing lanes of the proposed restaurant.
- (2) The approval of this Specific Use Permit (SUP) will waive the conditional land use standard stipulated by Subsection 02.02(F)(10)(a) of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), stating that "(d)rive-through lanes shall not have access to a local residential street."
- (3) The approval of this Specific Use Permit (SUP) will waive the driveway spacing requirements for a drive approach on a residential street as stipulated in the Engineering Department's *Standards of Design and Construction Manual*.
- (4) The approval of this Specific Use Permit (SUP) will constitute a variance to the minimum parking requirements for a *limited service restaurant* as stipulated by Section 06.05, *Off-Street Loading Requirements*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) to allow five (5) parking spaces in lieu of the six (6) required parking spaces.
- (5) The approval of this Specific Use Permit (SUP) will constitute a variance to the dumpster enclosure orientation requirements stipulated by Subsection 01.05(B), *Trash/Recycling Enclosures*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) to allow the dumpster enclosure to be oriented toward a public right-of-way.
- (6) A Floodplain/Waters of the United States Study and updated tree mitigation plan will need to be submitted prior to establishing the trail in the floodplain.
- (7) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22020-037

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 150 Pecan Valley Dr

Subdivision A0131, S. King Survey, Tract 1; Pecan Valley Retail Lot 1 Block A

General Location NWC Goliad St & Pecan Valley Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-65 w. N. SH-205 Overlay

Current Use Undeveloped/Vacant

Proposed Zoning PD-65 w. N. SH-205 Overlay

Proposed Use Restaurant w/ Drive-Thru

Acreage 2.246

Lots [Current] 1

Lots [Proposed] 1

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner JCDB Goliad Holdings, LLC

☐ Applicant Wier & Associates, Inc.

Contact Person Chad DuBose

Contact Person Casey Orr, P.E.

Address 8350 N. Central Expressway
Suite 1313

Address 121 S. Main St

City, State & Zip Dallas, TX 75206

City, State & Zip Henderson, TX 75654

Phone 214-701-8455

Phone 903-722-9030

E-Mail chad@foremark.com

E-Mail caseyo@wierassociates.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Cary Albert [Owner] the undersigned, who stated the information on this application to be true and certified the following:

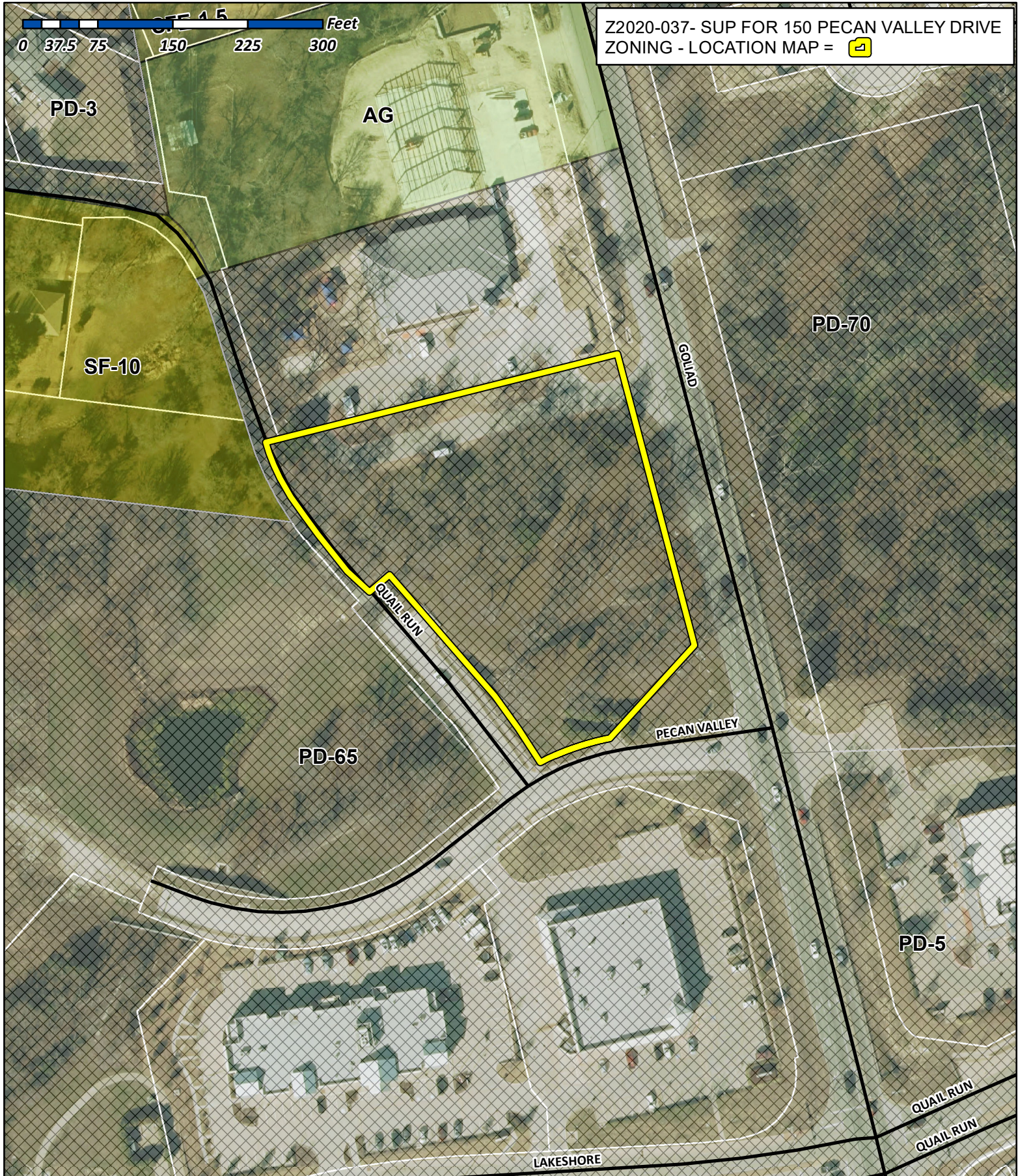
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 233.69, to cover the cost of this application, has been paid to the City of Rockwall on this the 14th day of August, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14th day of August, 20 20.

Owner's Signature

Notary Public in and for the State of Texas





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

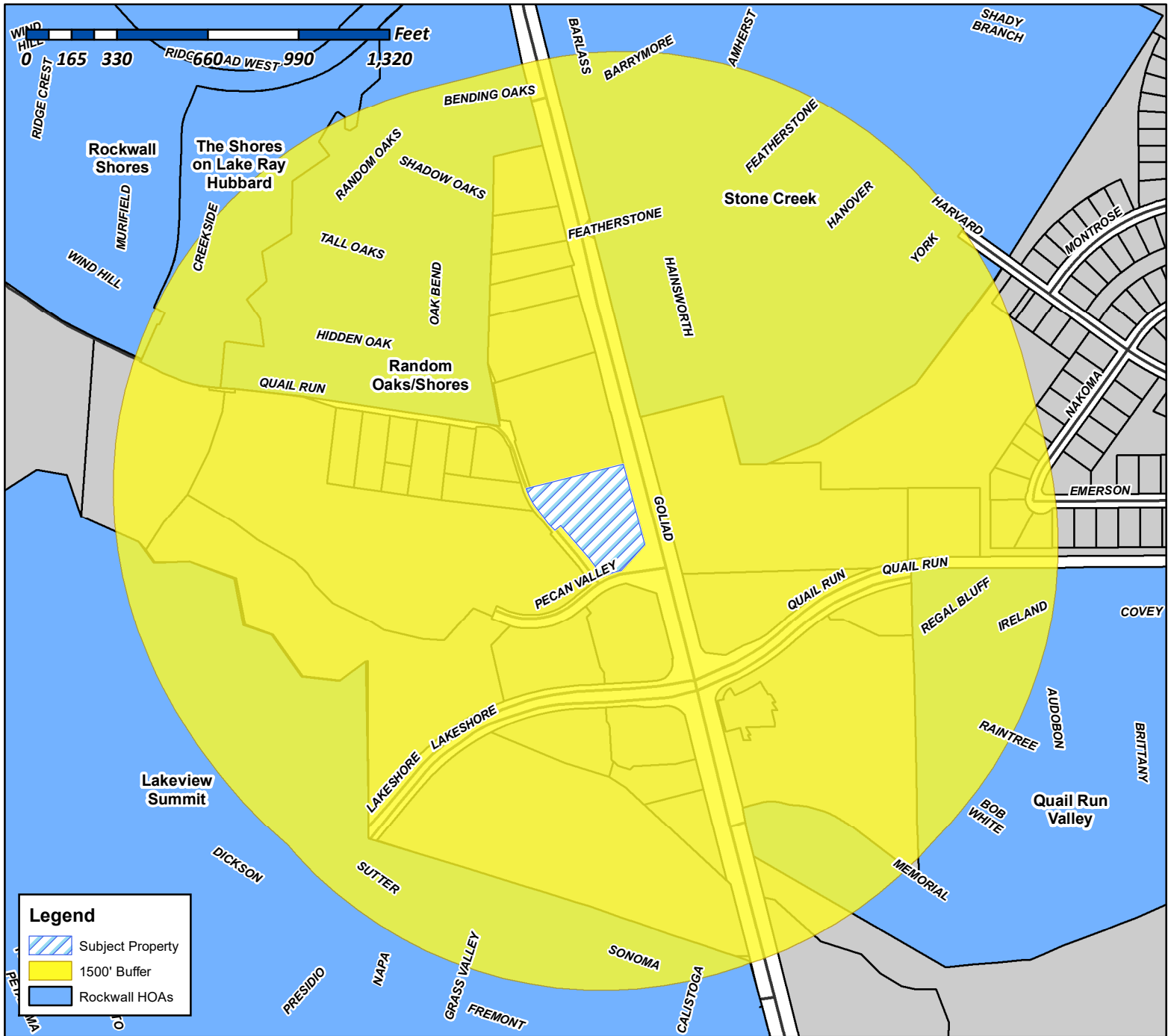




City of Rockwall

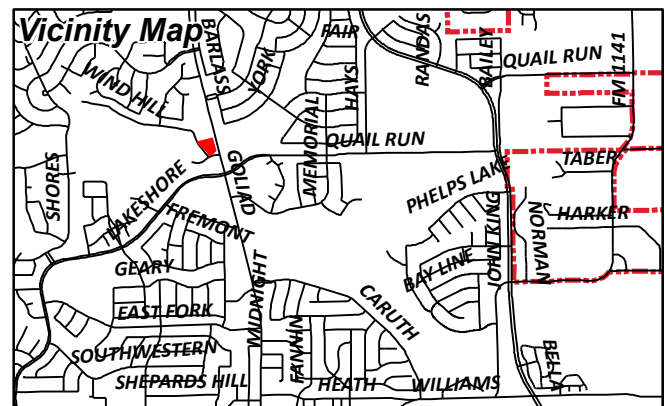
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-037
Case Name: SUP for 150 Pecan Valley Drive
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program
Date: Tuesday, August 18, 2020 4:59:49 PM
Attachments: [HOA Map Z2020-037.pdf](#)
[Public Notice \(08.18.2020\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, August 21, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:
<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-037 SUP for Restaurant at 150 Pecan Valley Drive

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>



City of Rockwall

Planning & Zoning Department
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Case Number: Z2020-037
Case Name: SUP for 150 Pecan Valley Drive
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Created: 8/14/2020
For Questions on this Case Call (972) 771-7745



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

M REA PROPERTIES 2 LLC
1234 TRALEE LN
GARLAND, TX 75044

PACESETTER HOMES LLC
14400 THE LAKES BLVD BUILDING C SUITE 200
AUSTIN, TX 78660

CHAPMAN BOBBY E II AND AMY L CHAMPMAN
1821 HAINSWORTH DRIVE
ROCKWALL, TX 75087

MOORE MICHAEL RAY JR & STEPHANIE
1823 HAINSWORTH DRIVE
ROCKWALL, TX 75087

MORGAN RAYMOND L JR AND STEPHANIE L
1825 HAINSWORTH DR
ROCKWALL, TX 75087

ESCOBEDO OMAR & MARIA C
1827 HAINSWORTH DRIVE
ROCKWALL, TX 75087

SLOAN CHRISTOPHER A & MISTI D
1830 OAK BEND DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
2004 N GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
2007 N GOLIAD
ROCKWALL, TX 75087

ARKOMA DEVELOPMENT LLC
203 E INTERSTATE 30
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A
218 W QUAIL RUN RD
ROCKWALL, TX 75087

HUNTER MICHAEL B & VICKIE D
220 W QUAIL RUN RD
ROCKWALL, TX 75087

HUNTER MICHAEL B & VICKIE D
220 W QUAIL RUN RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2265 NORTH LAKESHORE
ROCKWALL, TX 75087

CURRENT RESIDENT
3009 N GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
3009 N GOLIAD
ROCKWALL, TX 75087

CLARK TROY & JANICE
3025 N GOLIAD ST
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC
C/O ROCKWALL REGIONAL HOSPITAL LLC; ATTN
LEGAL DEPT.
3150 HORIZON RD
ROCKWALL, TX 75032

CH RETAIL FUN II/DALLAS LAKESHORE LP
3819 MAPLE AVENUE
DALLAS, TX 75219

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

JAVKER REALTY CORP
42 BOND ST
NEW YORK, NY 10012

ARRIAGA HENRY
505 HIDDEN OAK LN
ROCKWALL, TX 75087

JASMAN JAMES BLAKE
511 HIDDEN OAK LN
ROCKWALL, TX 75087

MURRAY NANCY J
519 HIDDEN OAK LN
ROCKWALL, TX 75087

REBAC OF ROCKWALL LLC
6000 UNIVERSITY AVE STE 350
WEST DES MOINES, IA 50266

GOLIAD REAL ESTATE LLC
7700 EASTERN AVENUE SUITE 705
DALLAS, TX 75209

REY LUIS SR AND JUDY L
806 YORK DR
ROCKWALL, TX 75087

ODEYEMI ADETUNJI
808 YORK DR
ROCKWALL, TX 75087

CURRENT RESIDENT
825 GOLIAD
ROCKWALL, TX 75087

MOORE WORTH INVESTMENTS LLC
8445 FREEPORT PKWY SUITE 175
IRVING, TX 75063

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

— . . . PLEASE RETURN THE BELOW FORM —

Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:	
Address:	

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Gamez, Angelica

From: Al Estrada <alrestrada@gmail.com>
Sent: Wednesday, August 19, 2020 6:02 PM
To: Planning
Subject: Z20-20 037

Ladies and Gentlemen,

After careful consideration, it is my recommendation for this plan not to move forward with this proposal in this location.

The current traffic jams already produced by the current corner occupants on Goliad and Lakeview, in addition to the increase in traffic accidents will only become worse.

Respectfully submitted,

Al Estrada
748 Monterey Drive
ROCKWALL
TX 75087
713 829 0701

Lakeview Summit

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Gamez, Angelica

From: Thomas Campion <thomas.campion@outlook.com>
Sent: Wednesday, August 19, 2020 11:49 AM
To: Planning
Subject: Z2020-037 SUP for Restaurant at 150 Pecan Valley Drive

To whom it may concern,

Do we have to knock down all the trees just to get another random fast food joint? It seems like plenty of space exists next to and behind McDonalds. If trees have to be cleared I would prefer a healthier establishment take their place such as a sprouts for example.

Thomas R. Campion
Resident Stone Creek Estates
108 Chatfield Drive
Rockwall, TX 75087

From: Homeowner Association <Email_Alert@calibersoftware.email>
Sent: Wednesday, August 19, 2020 11:19 AM
To: thomas.campion@outlook.com
Subject: Neighborhood Notification Program Notice

Dear Residents-

Please see below for a notice from the City of Rockwall regarding a zoning case near Stone Creek Estates HOA.

"Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, August 21, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-037 SUP for Restaurant at 150 Pecan Valley Drive

Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In on a 0.579-acre parcel of land identified as Tract 1 of the S. King

Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

Thank you,

Planning & Zoning
City of Rockwall
972.771.7745 Office
<http://www.rockwall.com/planning/>

Brittany Maxwell
Community Association Manager
Neighborhood Management, Inc.
1024 S. Greenville Ave, Suite 230 | Allen, TX 75002
Direct 972-359-1548 X 230
Website **Click & Share Your Experience**



AAMC®- Accredited Association Management Company®

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From: [Debe Hyde](#)
To: [Planning](#)
Subject: Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive
Date: Saturday, August 22, 2020 9:17:54 PM

Good day to you!

My name is Trent Hyde and I live at 218 West Quail Run Road, Rockwall.

With regard to Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive - **I am OPPOSED to the request for the reasons listed below:**

I have lived in Rockwall for over 20 years and in that time have watched Planning & Zoning just approve to fill up every little space of the once quiet area of Quail Run / Lakeshore Drive. This is destroying the integrity and the small town feel of Rockwall to add yet another restaurant to Rockwall.

Have you ever tried to turn left from Pecan Valley Drive onto Highway 205 at any time of the day? It's close to impossible and extremely dangerous. I ask you to try it, especially during high traffic hours.

Please, we are pleading, do not approve any establishment to be built on this corner. You will just be adding one more problem to the chaos. Thank you for your consideration!

Trent Hyde
214-924-9061

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From: [Ed Mahoney](#)
To: [Planning](#)
Subject: Z2020-037 Smoothie King
Date: Thursday, August 20, 2020 10:35:03 AM

Isn't the intersection bad enough already? We do NOT need another fast food restaurant, even after 205 is widened.

Please deny this request.

Kaaren Mahoney
2601 Nova Park Ct
Rockwall
(The Shores)

Sent from my iPad

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CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

From: [J Chastain](#)
To: [Planning](#)
Subject: Z2020-037
Date: Sunday, August 23, 2020 7:11:27 AM

If like to express my concern with putting another drive through at the corner of lakeshore and 205. Morning traffic consistently backs up at this intersection all the way to the shores entrance. Bringing more people to this intersection will cause a lot of problems. Especially those who come North and have to pass through the line of cars as they try to turn left into this drive through. Not only is it an eye sore that they took down a beautiful Grove of trees but all of this cheap big chain fast food really downgrades rockwalls old charm. The original zoning was there for a reason. Rockwall was a well built city that preserved itself in it's correct areas. Please don't let that be degraded by some money hungry developers looking to make a quick dollar on any 20 square feet they can get there hands on.

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Gamez, Angelica

From: Ed Mahoney <saildrambuie@sbcglobal.net>
Sent: Thursday, August 20, 2020 10:35 AM
To: Planning
Subject: Z2020-037 Smoothie King

Isn't the intersection bad enough already? We do NOT need another fast food restaurant, even after 205 is widened.

Please deny this request.

Kaaren Mahoney
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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

Please do not remove the little left of what was once a beautiful area.
This intersection is already over loaded with traffic. Do not add more.
Leave what is left for the children and family who use it to walk.
Let those wanting to make another million go some where else. Leave the area.

Name: Lanty W. Dean
Address: 216 W. Duval Park Rd.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Lanty W. Dean

Gamez, Angelica

From: Marshall Brown <marshbrown@gmail.com>
Sent: Wednesday, August 19, 2020 3:30 PM
To: Planning
Subject: Case Z2020-037

Greetings,

I'm writing this email in protest of Planning Case Z2020-037. I disagree with a drive through establishment in this area. Not only did a nice grove of trees get torn down for development, but a Smoothie King is not what is needed. If we want to keep that Rockwall small town feel, we should be promoting more restaurants where people can hang out. Bring some of the downtown feel to the Lakeshore/205 area instead.

There's a good walking path nearby. Maybe we could model the area to cater to more pedestrian traffic to alleviate the traffic congestion that's already there?

Cordially,

Marshall Brown
673 Hanover Dr, Rockwall, TX 75087

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PUBLIC NOTICE



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PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

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- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

Every beautiful tree will have to be removed.
It will be dangerous for us and the children in the
neighborhood because of the traffic.
We will never be able to get onto Goliad St.
Name: Mary F. Dean
Address: 216 W. Quail Run Rd.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Mary F. Dean

PUBLIC NOTICE



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Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

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Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

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- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

THE SIZE AND SHAPE OF THE PROPERTY MAKES PLACING ANY SIZE RESTAURANT FACILITY A DANGEROUS PROPOSITION. 1. 1200 IS LARGE ENOUGH TO ALLOW INSIDE SEATING. SITE DOES NOT ALLOW ENOUGH PARKING. 2. INGRESS/EGRESS TO SITE WOULD BE WITHIN 30 FEET OF CORNER OF W. QUAIL RUN RD & PECAN VALLEY WHICH IS SIGNIFICANTLY LESS THAN THE 100' REQUIREMENT MAKING A DANGEROUS TRAFFIC SITUATION THAT COULD CAUSE ACCIDENTS AND HARM TO PEDESTRIANS. 3. IT WOULD IMPAIR ACCESS TO CURRENT PROPERTY OWNERS.

Name:

MICHAEL HUNTER

Address:

260 W. QUAIL RUN RD, ROCKWALL TEXAS 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name: *Worth*
Moora Investments, LLC
Address: *4995 Freeport Drwy Suite 175, Irving TX 75062*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



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PLEASE RETURN THE BELOW FORM

Case No. Z2020-037: SUP for Restaurant at 150 Pecan Valley Drive

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

This would impose a hazardous Traffic situation for pedestrians and Residents on Quail Run, Pecan Valley, as well as ^{impede} Traffic on 205

Name: Vickie Hunter

Address: 220 W. Quail Run Rd., Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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From: [Wendy Lee-Graham](#)
To: [Planning](#)
Subject: Re: case Z2020-037
Date: Wednesday, August 26, 2020 5:00:48 PM

Hello,

I am emailing today to request you deny the planning application for a Smoothie King at this location.
The last thing we need is another drive-thru establishment (or nail salon/dentist/childcare...) in this area.

Kind regards,
Wendy Lee-Graham
1645 Plummer Drive
Rockwall, TX 75087

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WIER & ASSOCIATES, INC.

ENGINEERS
SURVEYORS
LAND PLANNERS

August 14, 2020

City of Rockwall
Planning & Zoning Dept.
385 S. Goliad St
Rockwall, Texas 75087

**RE: LETTER OF EXPLANATION – SPECIFIC USE PERMIT
NW CORNER OF GOLIAD & PECAN VALLEY
W&A# 19022**

PRINCIPALS

JOHN P. WIER, P.E., R.P.L.S.
ULYS LANE III, P.E., R.P.L.S., CFM
CARLO SILVESTRI, P.E.
GREGG MADSEN, R.P.L.S.

SENIOR ASSOCIATES

PHILIP L. GRAHAM, P.E.
JAKE H. FEARS, P.E., LEED AP BD+C
RANDALL S. EARDLEY, P.E.

ASSOCIATES

TOBY W. RODGERS
CASEY D. YORK
PRIYA N. ACHARYA, P.E.
TIM V. WALLACE, P.E.

Dear Planning and Zoning Staff:

JCDB Goliad Holdings, LLC intends to develop a portion of a 2.174-acre parcel of land, zoned as PD-65 within the N. SH-205 Overlay District, and situated in the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas. Said property is generally located at the northwest corner of Goliad St and Pecan Valley Dr and is addressed as 150 Pecan Valley Dr.

This Letter of Explanation is accompanying a submittal for a Specific Use Permit request for the approval to construct a 1,400±-sf restaurant with drive-through on the southern portion of the tract. This development requires a Specific Use Permit due to being a restaurant, less than 2,000-sf, with drive-through or drive-in facilities. The developable area south of the existing creek is bound by several site constraints, which include easements, right-of-way dedication, and floodplain. A site plan exhibit, prototypical floor plan and renderings, and typical traffic counts are included with this submittal for reference.

We request that the review of the Specific Use Permit application for the property noted above be recommended for approval by staff. Please contact the developer, Chad DuBose with JCDB Goliad Holdings, LLC, by phone at 214-701-8455 or via email at chad@foremark.com or the developer's engineer, Casey Orr, P.E. with Wier & Associates, Inc., by phone at 903-722-9030 or via email at caseyo@wierassociates.com with any questions or comments.

Respectfully,

Casey Orr, P.E.
Project Manager

2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006-7440
(817) 467-7700
FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.
HENDERSON, TEXAS 75654-3559
(903) 722-9030
TOLL FREE FAX (844) 325-0445



WIER & ASSOCIATES, INC.
ENGINEERS
SURVEYORS
LAND PLANNERS

September 1, 2020

City of Rockwall
Planning & Development Services
385 S. Goliad Street Rockwall, TX 75087
Attn: Angelica Gamez

PRINCIPALS
JOHN P. WIER, P.E., R.P.L.S.
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ASSOCIATES
TOBY W. RODGERS
CASEY D. YORK
PRIYA ACHARYA, P.E.

RE: WA # 19022 – 150 PECAN VALLEY DR, ROCKWALL, TX 75087 (Z2020-037)

Dear City of Rockwall,

On behalf of the applicant, please find below a listing of requested waivers of the City of Rockwall Unified Development Code:

Land Use Conditional Standards: applicant is requesting a drive-thru for a restaurant, which is less than 2,000 sf. The proposed drive-thru will accommodate at least the required minimum 6 stacking spaces.

Driveway Spacing: applicant is requesting a waiver from the required driveway spacing. The site is bound by several constraints, including floodplain to the north, utility easements to the south and east, and 3 public roadways. The proposed driveway location is the most feasible.

Dumpster Location: applicant is requesting a waiver to allow the trash enclosure to front Pecan Valley. The enclosure will be screened with landscaping, a masonry wall, and a gate.

A copy of the SUP site plan and supporting documents are included for reference. Should you have any questions or require additional information, please do not hesitate to contact us.

Respectfully,

Casey Orr, P.E.

2201 E. LAMAR BLVD., SUITE 200E
ARLINGTON, TEXAS 76006-7440
(817) 467-7700
FAX (817) 467-7713

WWW.WIERASSOCIATES.COM

121 S. MAIN ST.
HENDERSON, TEXAS 75654-3559
(903) 722-9030
TOLL FREE FAX (844) 325-0445

LEGEND

LANDSCAPE AREA
(REF: LANDSCAPE PLAN)

CONCRETE SIDEWALK

GENERAL NOTES:

1. DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.

2. ALL PROPOSED CURB RADIUS ARE 3.0' F/C. WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.

3. SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.

4. ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

FEMA NOTE

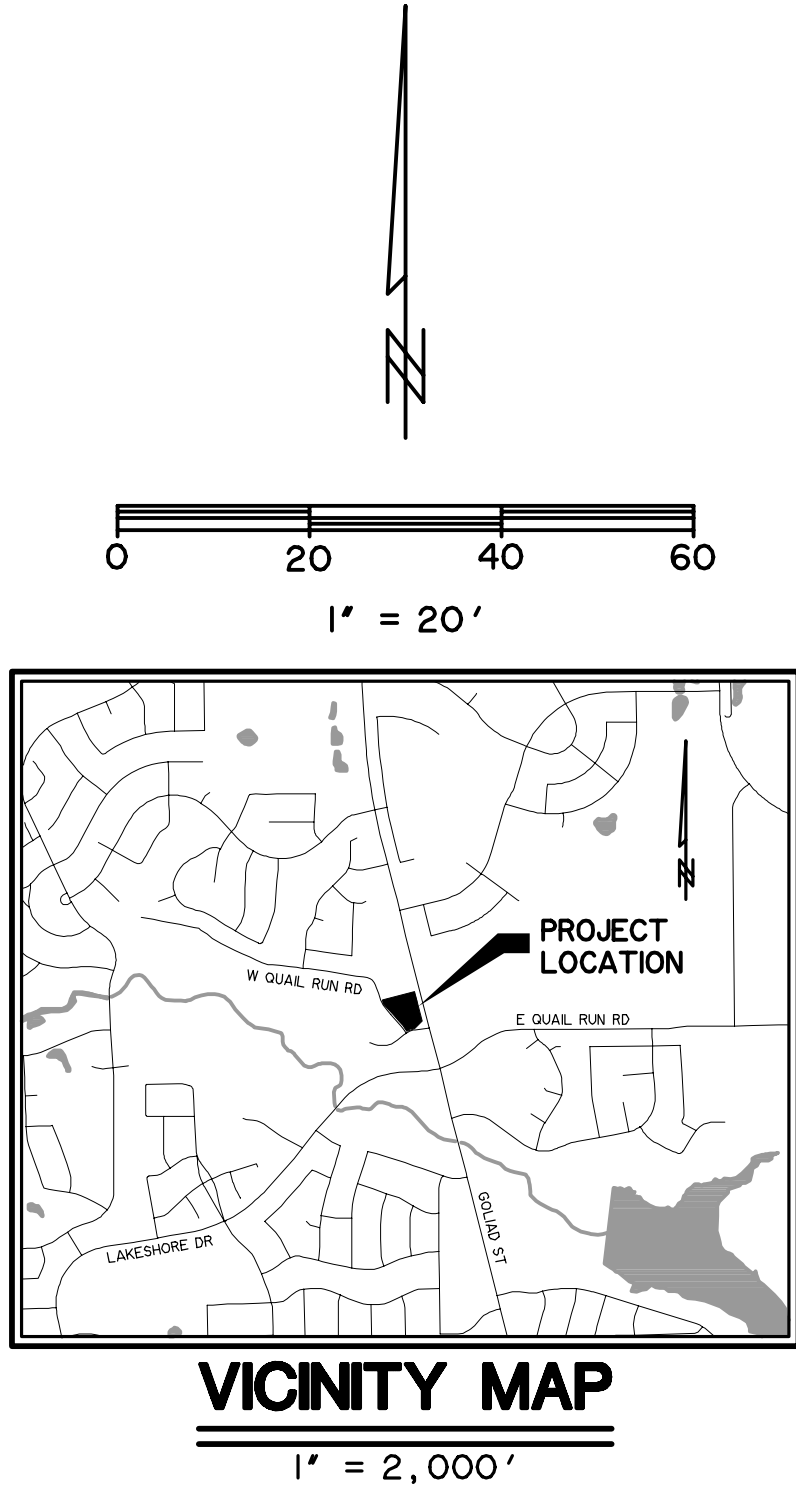
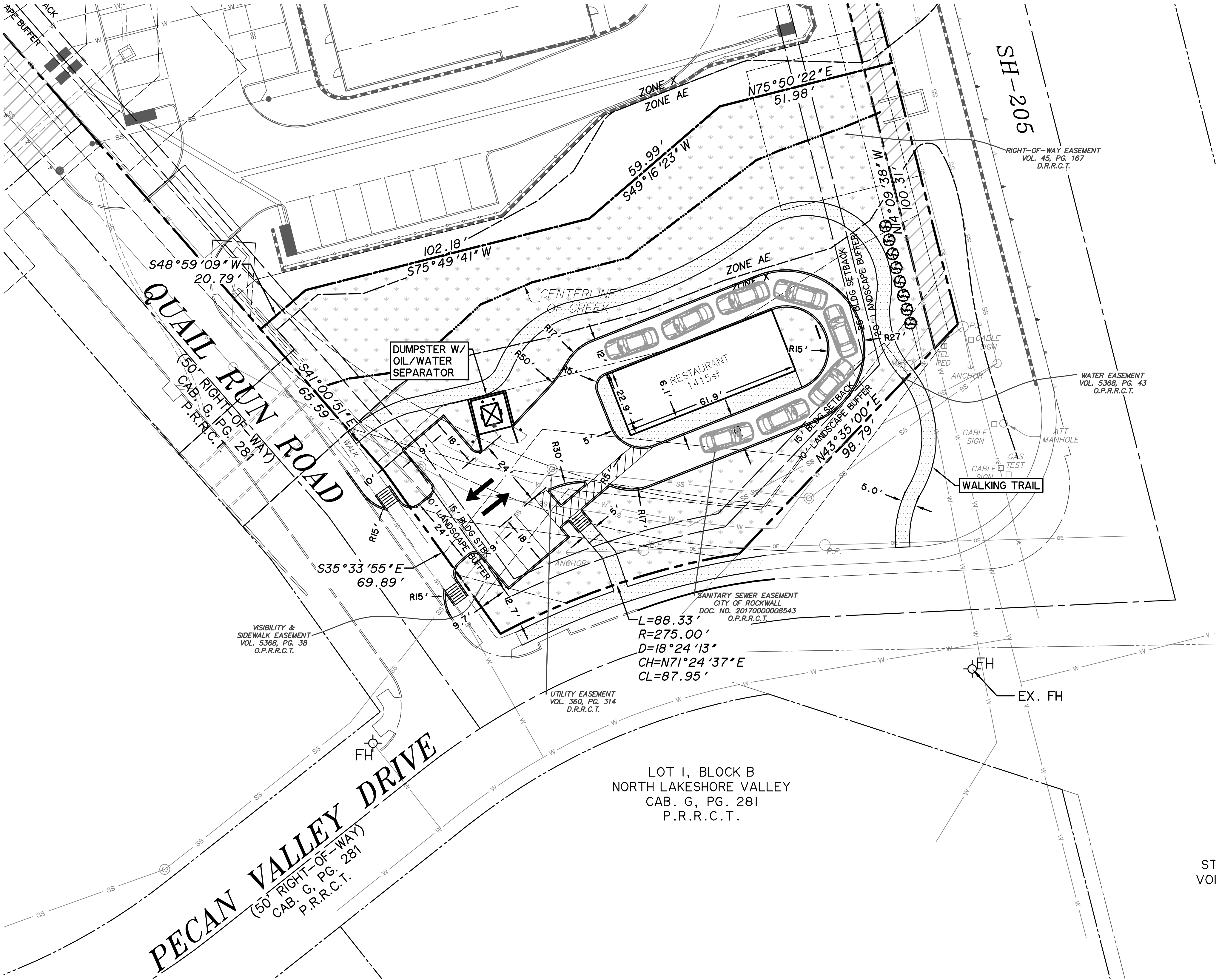
FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES "AE" AND "X". PART OF THIS PROPERTY LIES WITHIN ZONES "A", AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

DEVELOPER

JCDB GOLIAD HOLDINGS, LLC
CONTACT: CHAD DUBOSE
8350 N CENTRAL EXPWY, STE I313
DALLAS, TEXAS 75206
PHONE: (214) 891-3215
CHAD@FOREMARK.COM

ENGINEER

WIER & ASSOCIATES
CONTACT: CASEY ORR, P.E.
121 S. MAIN ST
HENDERSON, TX 75654
PHONE: (903) 722-9030
CASEYO@WIERASSOCIATES.COM



SITE DATA CHART	
ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	LIMITED SERVICE RESTAURANT
LOT AREA (ARTIFICIAL)	0.579± AC (25,233 SF)
BUILDING AREA	1,415 SF (REQUIRES SUP APPROVAL)
BUILDING HEIGHT	11'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 15' QUAIL RUN RD: 15' INTERNAL: 10'
BUILDING/LOT COVERAGE	5.6%
LANDSCAPE AREA	16,679 SF
LANDSCAPE COVERAGE	66.1%
NUMBER OF SEATS	1/250 SF = 1415/250 = 6
REQUIRED PARKING	6
PROVIDED PARKING	5

SUP SITE PLAN
RESTAURANT
150 PECAN VALLEY DR
ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

September 1, 2020

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
CASE No.: Z2020-037

CONCEPTUAL PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES.
Prepared By/Or Under
Direct Supervision Of
Casey B. Orr, PE
Texas Registration
No. 121642
On Date Shown Below.

DATE: 9/1/2020
W.A. No. 19022



STUDIO | DESIGN



STUDIO DESIGN



STUDIO DESIGN

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 65 (PD-65) [*ORDINANCE NO. 17-03*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *RESTAURANT, LESS THAN 2,000 SF, WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 0.579-ACRE PARCEL OF LAND, IDENTIFIED AS TRACT 1 OF THE S. KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Casey Orr, PE of Wier & Associates, Inc. for the approval of a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 0.579-acre parcel of land described as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) [*Ordinance No. 17-03*] for General Retail (GR) District land uses, addressed as 105 Pecan Valley Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 65 (PD-65) [*Ordinance No. 17-03*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 65 (PD-65) [*Ordinance No. 17-03*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 65 (PD-65) [Ordinance No. 17-03]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, Less Than 2,000 SF, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) Additional landscaping, a berm, and/or a masonry wall may be required by staff at the time of site plan along *Pecan Valley Drive* and *N. Goliad Street* to provide headlight screening for vehicles traveling along *N. Goliad Street* from vehicles in the drive-through and cueing lanes of the proposed restaurant.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map and Legal Description

Address: 105 Pecan Valley Drive

Legal Description: Tract 1 of the S. King Survey, Abstract No. 131

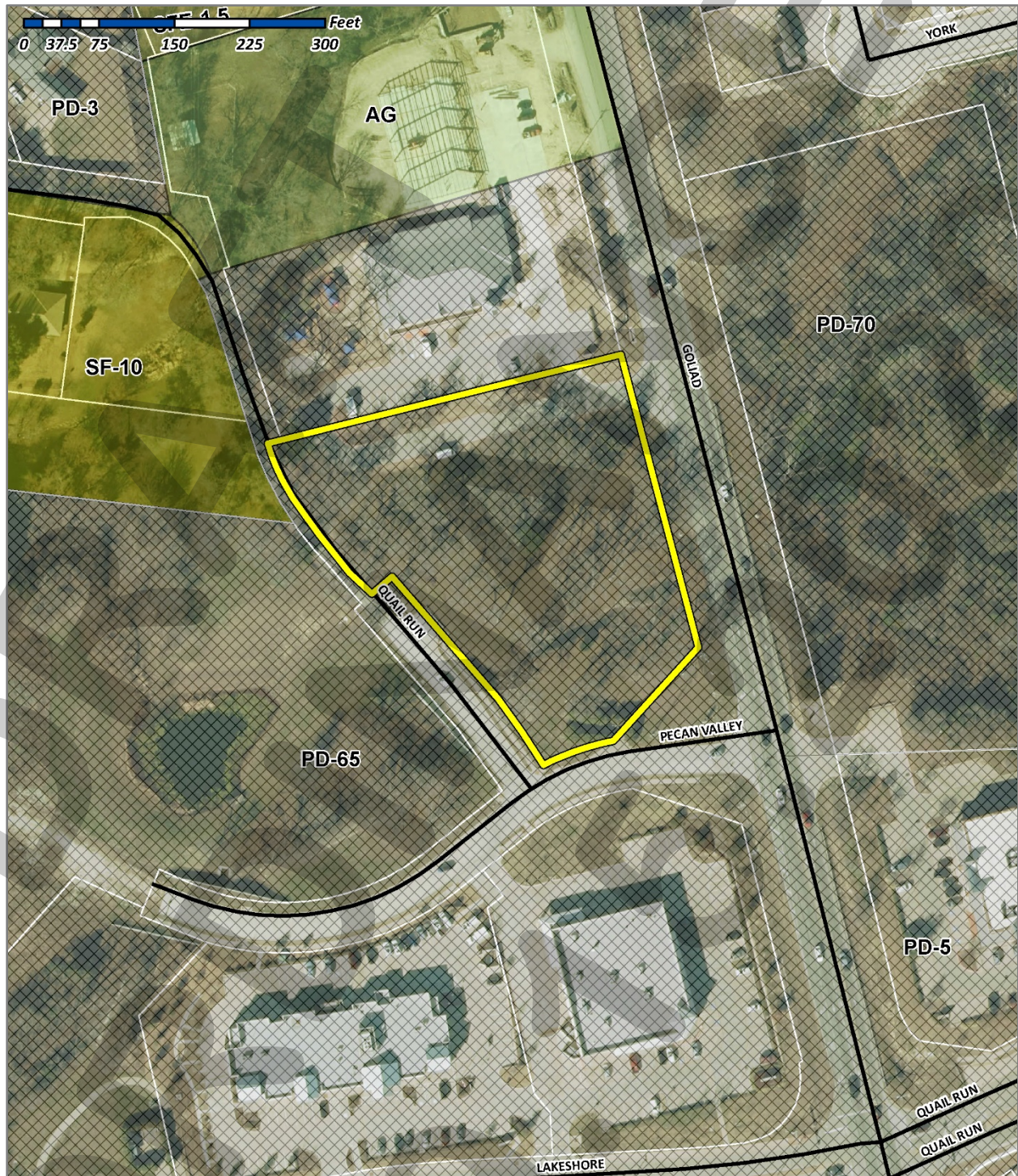


Exhibit 'A'
Location Map and Legal Description

BEING A TRACT OF LAND LOCATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO JCDB GOLIAD HOLDINGS, LLC, RECORDED IN INSTRUMENT NUMBER 20190000009184, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH CAP STAMPED "STOVALL", BEING THE SOUTH CORNER OF SAID JCDB GOLIAD TRACT AND BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF PECAN VALLEY DRIVE (A 50' RIGHT-OF-WAY) WITH THE EAST RIGHT-OF-WAY LINE OF QUAIL RUN ROAD (A 50' RIGHT-OF-WAY);

ALONG THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD AS FOLLOWS:

- (1) N 35°33'55" W, 69.89 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";
- (2) N 41°00'51" W, 69.59 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND BEARS N 41°00'51" W, 95.11 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF A RIGHT-OF-WAY DEDICATION FOR QUAIL RUN ROAD AS SHOWN ON THE PLAT RECORDED IN CABINET G, PAGE 281, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.);

THENCE N 48°59'09" E, DEPARTING THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD, 20.79 FEET TO A POINT;

THENCE N 75°49'41" E, 102.18 FEET TO A POINT; THENCE N 49°16'23" E, 59.99 FEET TO A POINT;

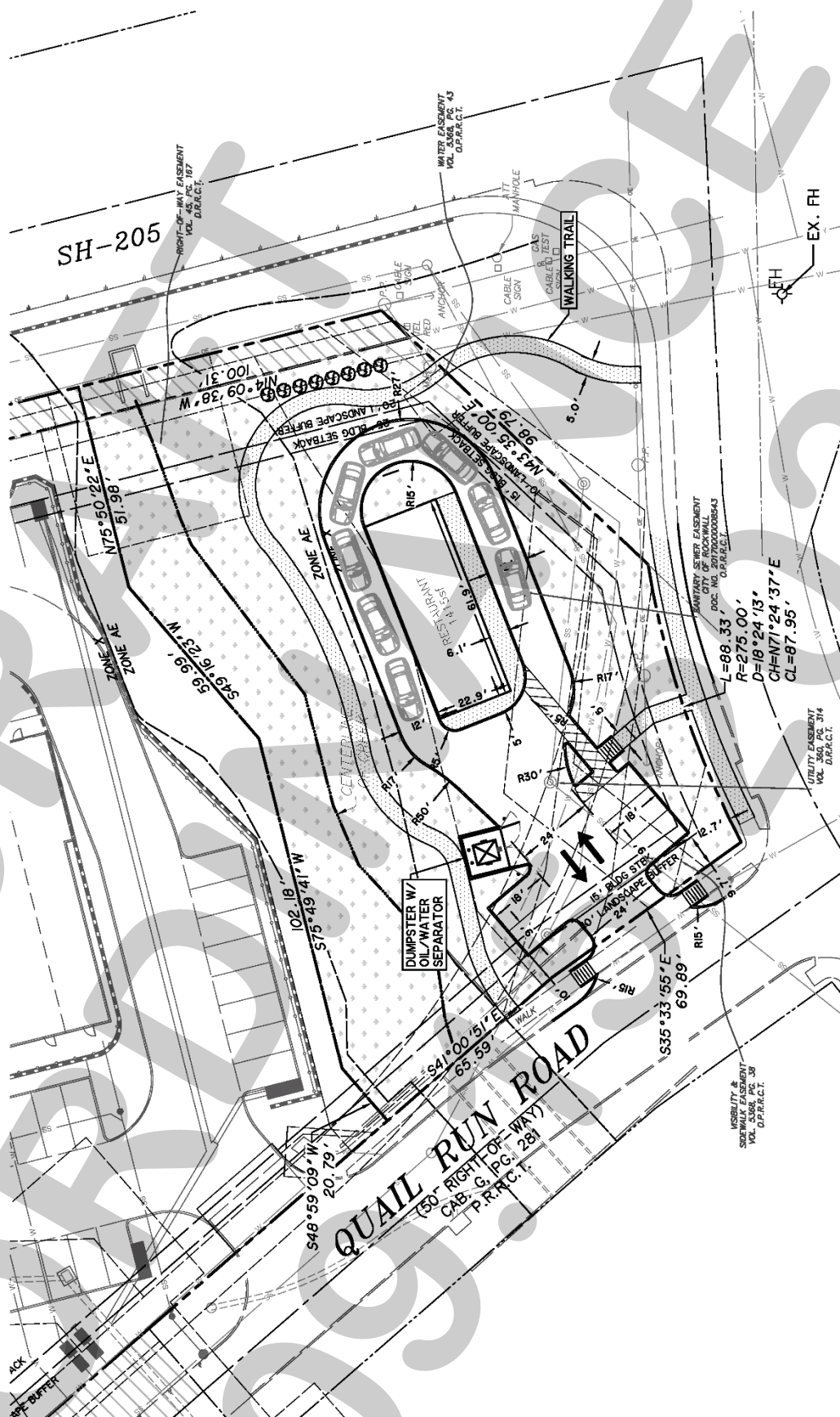
THENCE 75°50'22" E, 51.98 FEET TO A POINT;

THENCE S 14°09'38" E, 100.31 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (STATE HIGHWAY NO. 205) (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A CONCRETE MONUMENT FOUND BEARS N 43°35'00" E, 11.82 FEET;

THENCE S 43°35'00" W, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 110.62 FEET TO A POINT, BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET WITH THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 88.33 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 275.00 FEET, A DELTA ANGLE OF 18°24'13", AND A CHORD BEARING S 71°24'37" W, 87.95 FEET TO THE PLACE OF BEGINNING, AND CONTAINING 0.579 ACRES (25,233 SQUARE FEET) OF LAND, MORE OR LESS.

SH-205





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: September 15, 2020

APPLICANT: Ruben Segovia

CASE NUMBER: Z2020-038; *Specific Use Permit (SUP) for a Residential Infill for 269 Russell Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lots 1286 & 1287 of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. At the time of annexation, one (1) manufactured home was situated on the subject property. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. Based on aerial imagery, at some point between February 13, 2014 and March 28, 2015, the manufactured home situated on the subject property was demolished. The subject property has remained vacant since this demolition.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 269 Russell Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are developed with mobile/manufactured homes. Beyond this are several vacant lots.

South: Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. Of the twelve (12) lots south of the subject property four (4) have mobile/manufactured homes, with the rest of the lots being vacant. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. One (1) of the properties has a mobile/manufactured home, the other lots are vacant. Beyond this is Lynne Drive, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Russell Drive, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are developed with mobile/manufactured homes. Beyond this is Wayne Drive, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Russell Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Russell Drive Between County Line Road and the Subject Property	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located along Russell Drive are oriented toward Russell Drive.	The front elevation of the home will face onto Russell Drive.
Year Built	1970-2000	N/A
Building SF on Property	840 SF – 2,106 SF	2,102 SF (1,640 SF of Air-Conditioned Space)
Building Architecture	Mobile/Manufactured Homes	Comparable Architecture to Newer Single-Family Homes
Building Setbacks:		
Front	Estimated between 0-Feet and greater than 20-feet.	X>20-Feet
Side	The side yard setbacks appear to be between zero (0) and greater than six (6) feet.	X>5-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	X>10-Feet
Building Materials	Aluminum & Wood Siding, Modular Paneling, Composite Siding, and Vinyl Siding	Combination of HardiBoard Siding, Brick, and Stucco
Paint and Color	White, Cream, Light-Brown, Blue, and Tan	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal	Asphalt Composite Shingle
Driveways/Garages	Driveways are all in the front and visible from Russell Drive; however, some are behind front yard fences. Two (2) of the homes have enclosed garages.	The garage will be a recessed front entry garage with the driveway facing onto Russell Drive and the garage door being ~24-feet behind the front façade of the proposed home.

The proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Russell Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On August 18, 2020, staff mailed 144 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22070-038

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *R/Li*

CITY ENGINEER: *Any*

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 629 Russell Drive Rockwall county Texas

Subdivision

Lot 1286, 1287 Block

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential single family

Current Use Vacant

Proposed Zoning Residential Single family

Proposed Use Residential

Acreage 14,400 sq ft Lots [Current] 1286, 1287#2 Lots [Proposed] #1

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner Jose E. Valerio

☐ Applicant Ruben Segovia

Contact Person

Contact Person

Address 3027 Mason drive

Address 472 363 5019 9512 Teagarden Dallas

City, State & Zip Mesquite TX 75150

City, State & Zip Dallas TX 75217

Phone 469-286-9964

Phone 972-363-5019

E-Mail

E-Mail finecworks2016@gmail.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

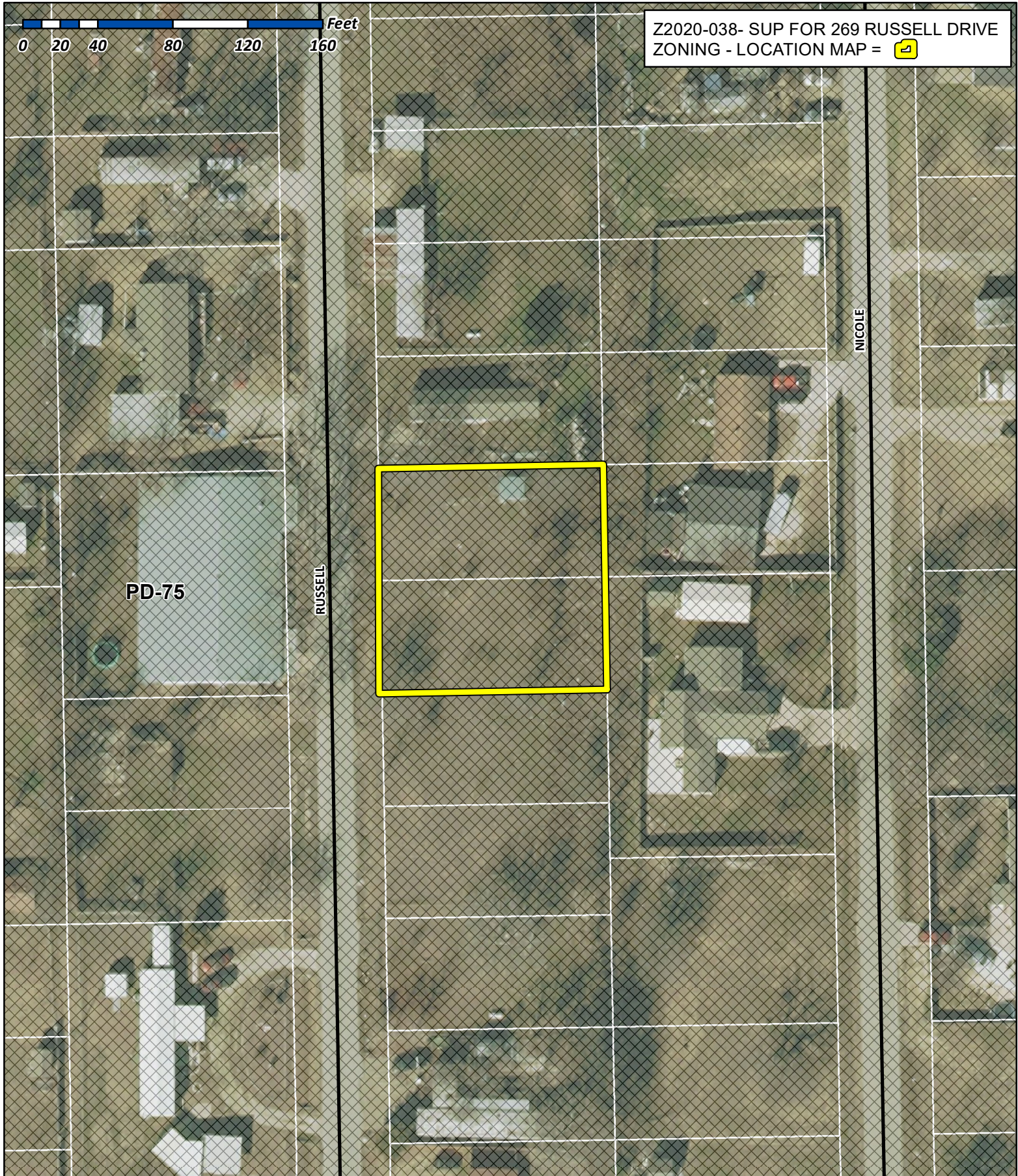
Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature

Jose E Valerio

Notary Public in and for the State of Texas

My Commission Expires



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

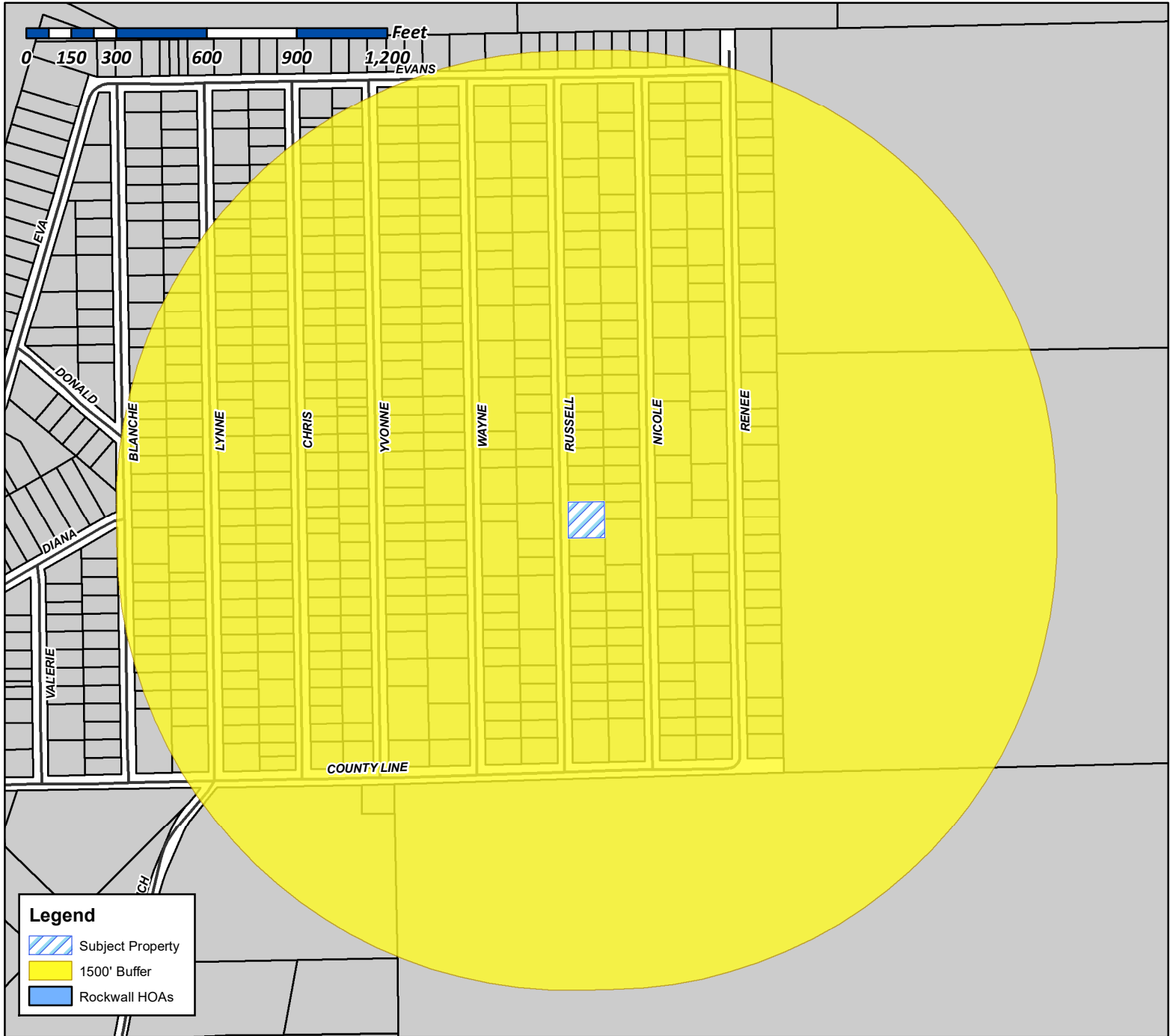




City of Rockwall

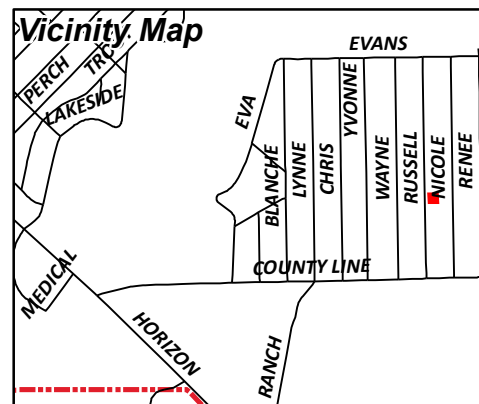
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Case Number: Z2020-038
Case Name: SUP for 269 Russell Drive
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 269 Russell Drive

Date Created: 8/17/2020
For Questions on this Case Call (972) 771-7745





City of Rockwall

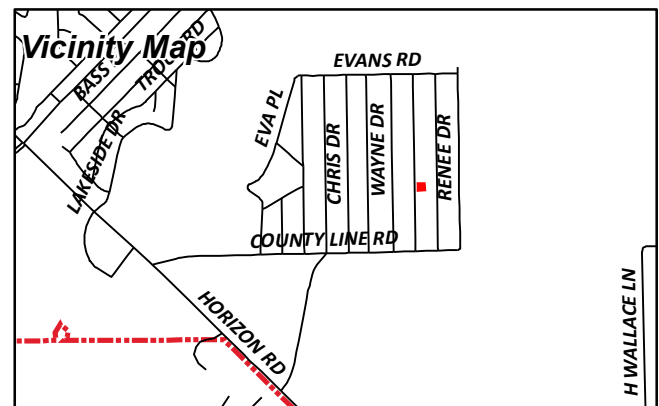
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For Questions on this Case Call (972) 771-7745



PUENTES VICENTE
1006 DOVE DRIVE
GARLAND, TX 75040

GALICIA VANESSA
10935 ESTATE LN STE 495
DALLAS, TX 75238

IBARRA MATEO CASTRO
140 NICOLE DR
ROCKWALL, TX 75032

RAMIREZ ZACARIAS
143 RUSSELL
ROCKWALL, TX 75032

IBARRA MATEO CASTRO
152 NICOLE
ROCKWALL, TX 75032

MARQUEZ FELIX C
154 RUSSELL DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
155 RUSSELL
ROCKWALL, TX 75032

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
157 WAYNE
ROCKWALL, TX 75032

DRCE TRUST
159 NICOLE
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R
164 NICOLE
ROCKWALL, TX 75032

FAST INVESTMENTS LLC
167 RUSSELL
ROCKWALL, TX 75032

MARQUEZ FELIX C
168 RUSSELL
ROCKWALL, TX 75032

AVILA LUZ MARIA
169 WAYNE
ROCKWALL, TX 75032

IBARRA GABRIELA AND
EDUARDO OSORNIO
171 CRAWFORD LN
ROYSE CITY, TX 75189

UC JOSE LUIS & GELLY DEL R
176 NICOLE
ROCKWALL, TX 75032

MEJIA JULIO & MARIA
176 RENEE DR
ROCKWALL, TX 75032

FAST INVESTMENTS LLC
181 RUSSELL
ROCKWALL, TX 75032

ACUNA NINFA
182 RUSSELL
ROCKWALL, TX 75032

HERNANDEZ FELICITAS
183 NICOLE DR
ROCKWALL, TX 75032

UC JOSE LUIS & GELLY DEL R
186 NICOLE DR
ROCKWALL, TX 75032

AVILA LUZ MARIA
1924 DEVONSHIRE
GARLAND, TX 75041

FAST INVESTMENTS LLC
193 RUSSELL DR
ROCKWALL, TX 75032

CARMONA JOSE
194 RENEE DRIVE
ROCKWALL, TX 75032

ESPARZA NORA
195 NICOLE
ROCKWALL, TX 75032

AVILA LUZ MARIA
195 WAYNE
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO
195 WAYNE
ROCKWALL, TX 75032

UC JOSE LUIS GPE XOOL
GELLY DELROSARIO
196 NICOLE
ROCKWALL, TX 75032

DAVID B RENO II & PATRICIA J RENO REVOCABLE
LIVING TRUST
198 RUSSELL
ROCKWALL, TX 75032

RAMIREZ RUBEN & MARTHA
200 CHAMBERLAIN DR
FATE, TX 75189

RAMIREZ RUBIN & MARTHA
204 WAYNE
ROCKWALL, TX 75032

ESPARZA NORA
207 NICOLE
ROCKWALL, TX 75032

SANCHEZ ARNULFO
208 NICOLE
ROCKWALL, TX 75032

PROCK CHARLES A AND EVELYN
209 RUSSELL DR
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO
211 WAYNE
ROCKWALL, TX 75032

CRUZ MARIA D
212 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ RUBEN & MARTHA
216 WAYNE
ROCKWALL, TX 75032

PATINO SYLVIA AND
ZEFERINO BUSTAMANTE
2168 DOVE DR
QUINLAN, TX 75474

DAVID B RENO II & PATRICIA J RENO REVOCABLE
LIVING TRUST
218 RUSSELL DRIVE
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

TREJO CECILLIO
221 RENEE
ROCKWALL, TX 75032

SANCHEZ ARNULFO
222 NICOLE
ROCKWALL, TX 75032

SALAS MIGUEL ANGEL LEDEZMA AND
YAJAIRA GUADALUPE GARCIA FERNANDEZ
223 RUSSELL
ROCKWALL, TX 75032

GURRUSQUIETA CELIA
225 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ RUBEN & MARTHA
226 WAYNE
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO
227 WAYNE
ROCKWALL, TX 75032

KENDALL LEAH T
227 YVONNE DR
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA
230 RENEE DR
ROCKWALL, TX 75032

VAZQUEZ JORGE A AND SYLVIA
230 RENEE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
233 RENEE
ROCKWALL, TX 75032

MORENO NOE
235 RUSSELL
ROCKWALL, TX 75032

SMITH ROY
236 WAYNE
ROCKWALL, TX 75032

KENDALL LEAH T
237 YVONNE
ROCKWALL, TX 75032

GALICIA VANESSA
238 RUSSELL
ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN
241 TROUT ST
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
245 RENEE
ROCKWALL, TX 75032

MORENO NOE
247 RUSSELL
ROCKWALL, TX 75032

SANCHEZ PABLO
248 NICOLE DR
ROCKWALL, TX 75032

GALICIA VANESSA
248 RUSSELL
ROCKWALL, TX 75032

SMITH ROY
248 WAYNE DR
ROCKWALL, TX 75032

LINDOP N A JR
248 WAYNE DR
ROCKWALL, TX 75032

GARCIA ERIK URBINA AND ISABEL GONZALEZ
249 YVONNE
ROCKWALL, TX 75032

MORENO IGNACIO & CRISPIN
250 RENEE
ROCKWALL, TX 75032

CERVANTES LUIS & ELSA
251 WAYNE DR
ROCKWALL, TX 75032

VALERIO JOSE E
257 RUSSELL
ROCKWALL, TX 75032

GEMINI VL LLC &
ROCKWALL LAKE PROP LLC
259 YVONNE
ROCKWALL, TX 75032

SANCHEZ PABLO
262 NICOLE
ROCKWALL, TX 75032

CRUZ DEBRA J
262 RENEE DR
ROCKWALL, TX 75032

GALICIA VANESSA
262 RUSSELL
ROCKWALL, TX 75032

LINDOP N A JR
264 WAYNE
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L
265 RENEE DR
ROCKWALL, TX 75032

VALERIO JOSE E
269 RUSSELL
ROCKWALL, TX 75032

DIAZ FRANCISCO
271 YVONNE
ROCKWALL, TX 75032

GUEVARA ELIAS
274 EASTRIDGE DR
ROYSE CITY, TX 75189

FLORES LISANDRA CONTRERAS
274 NICOLE
ROCKWALL, TX 75032

LINDOP JOYCE ANN
274 WAYNE DR
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA
275 WAYNE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO
281 YVONNE
ROCKWALL, TX 75032

ESTRADA NOHEMA
283 NICOLE
ROCKWALL, TX 75032

JIMENEZ RICARDO
2847 TANGLEGLEN DR
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA L
285 RENEE
ROCKWALL, TX 75032

GURRUSQUIETA CELIA
285 RUSSELL
ROCKWALL, TX 75032

FLORES LISANDRA CONTRERAS
288 NICOLE DRIVE
ROCKWALL, TX 75032

RIVERA DORIS MABEL
288 RENEE DR
ROCKWALL, TX 75032

IBARRA GABRIELA AND
EDUARDO OSORNIO
291 RENEE
ROCKWALL, TX 75032

SOSA LORENA
293 NICOLE DR
ROCKWALL, TX 75032

CARMONA BLANCA CECILIA &
JESUS SANCHEZ
293 YVONNE DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
296 RUSSELL DR
ROCKWALL, TX 75032

GARCIA RICARDO
298 WAYNE DR
ROCKWALL, TX 75032

GUERRERO JUAN
299 RUSSELL DR
ROCKWALL, TX 75032

NAVA LUZ A
2994 S FM 551
ROYSE CITY, TX 75189

FLORES LISANDRA CONTRERAS
302 NICOLE
ROCKWALL, TX 75032

VALERIO JOSE E
3027 MASON DR
MESQUITE, TX 75150

MENDEZ ALAN ERNESTO ROJAS AND YAZMIN
ACOSTA MEJIA
303 RENEE DR
ROCKWALL, TX 75032

MACIEL JENNIFER E
303 WAYNE DR
ROCKWALL, TX 75032

GUEVARA ELIAS
307 YVONNE
ROCKWALL, TX 75032

ARCINIEGA D ODIN A
310 RUSSELL DR
ROCKWALL, TX 75032

GUERRERO JUAN
311 RUSSELL
ROCKWALL, TX 75032

BENITES ROSA
312 NICOLE
ROCKWALL, TX 75032

ESPARZA MARCO
312 RENEE
ROCKWALL, TX 75032

PATINO SYLVIA AND
ZEFERINO BUSTAMANTE
313 WAYNE
ROCKWALL, TX 75032

COVARRUBIAS CARLOS
314 WAYNE
ROCKWALL, TX 75032

NAVA LUZ A
321 RUSSELL
ROCKWALL, TX 75032

PATINO SYLVIA AND
ZEFERINO BUSTAMANTE
321 WAYNE
ROCKWALL, TX 75032

BENITES ROSA
322 NICOLE DR
ROCKWALL, TX 75032

RODARTE PASCUAL AND SARA I
322 RUSSELL DR
ROCKWALL, TX 75032

HERNANDEZ YERICA V CARRIZALES
326 WAYNE
ROCKWALL, TX 75032

MACIAS ARMANDO JAMIE
327 NICOLE DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
330 RENEE
ROCKWALL, TX 75032

NAVA LUZ A
335 RUSSELL
ROCKWALL, TX 75032

ESPARZA ABEL AND MONICA CARMONA
336 NICOLE DR
ROCKWALL, TX 75032

SOSA LORENA
338 WAYNE DR
ROCKWALL, TX 75032

WILBURN RONALD J
345 WAYNE DR
ROCKWALL, TX 75032

JIMENEZ HELIODORO & MARIA ELENA
346 RUSSELL
ROCKWALL, TX 75032

CRUZ MARIA D
347 RUSSELL
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
353 NICOLE
ROCKWALL, TX 75032

YANEZ ALONSO TORRES
358 RENEE
ROCKWALL, TX 75032

JIMENEZ HELIODORO & MARIA ELENA
358 RUSSELL
ROCKWALL, TX 75032

CRUZ MARIA D
359 RUSSELL
ROCKWALL, TX 75032

CONTRERAS NORMA
360 NICOLE DR
ROCKWALL, TX 75032

BRYANT JERRY LYNN
366 WAYNE DR
ROCKWALL, TX 75032

PUENTES VICENTE
370 RUSSELL
ROCKWALL, TX 75032

CRUZ MARIA D
371 RUSSELL
ROCKWALL, TX 75032

CONTRERAS NORMA
372 NICOLE
ROCKWALL, TX 75032

MCLOUD JOY ANN
375 NICOLE DR
ROCKWALL, TX 75032

CRUZ MARIA D
381 RUSSELL
ROCKWALL, TX 75032

JIMENEZ RICARDO
382 NICOLE
ROCKWALL, TX 75032

PUENTES VICENTE
382 RUSSELL
ROCKWALL, TX 75032

RESENDIZ ESTELA
385 WAYNE DR
ROCKWALL, TX 75032

SANCHEZ ARNULFO
398 NICOLE DR
ROCKWALL, TX 75032

SALAS MIGUEL ANGEL LEDEZMA AND
YAJAIRA GUADALUPE GARCIA FERNANDEZ
416 BASS RD
ROCKWALL, TX 75032

DRCE TRUST
4219 ASHMON CT
DALLAS, TX 75287

YANEZ ALONSO TORRES
473 RENEE DR
ROCKWALL, TX 75032

MORENO NOE
474 BASS RD
ROCKWALL, TX 75032

GEMINI VL LLC &
ROCKWALL LAKE PROP LLC
5713 SECREST CT
GOLDEN, CO 80403

JIMENEZ HELIODORO & MARIA ELENA
6101 BAY ISLAND DR APT 1007
GARLAND, TX 75043

RAMIREZ ZACARIAS
703 T L TOWNSEND DR
ROCKWALL, TX 75087

ACUNA NINFA
703 T L TOWNSEND DR
ROCKWALL, TX 75087

SIERRA ZACARIAS RAMIREZ
703 T L TOWNSEND DR
ROCKWALL, TX 75087

ESTRADA NOHEMA
705 LAKESIDE DR
ROCKWALL, TX 75032

ESPARZA NORA
7723 GLENMERE TRAIL
SACHSE, TX 75048

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

HERNANDEZ FIDEL ESPINO
9233 WHISKERS RD
QUINLAN, TX 75474

TREJO CECILLIO
M/R
, TX

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-038: SUP for Residential Infill at 269 Russell Drive

Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, September 15, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, September 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, September 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

— . . . PLEASE RETURN THE BELOW FORM — . . .

Case No. Z2020-038: SUP for Residential Infill at 269 Russell Drive

Please place a check mark on the appropriate line below:

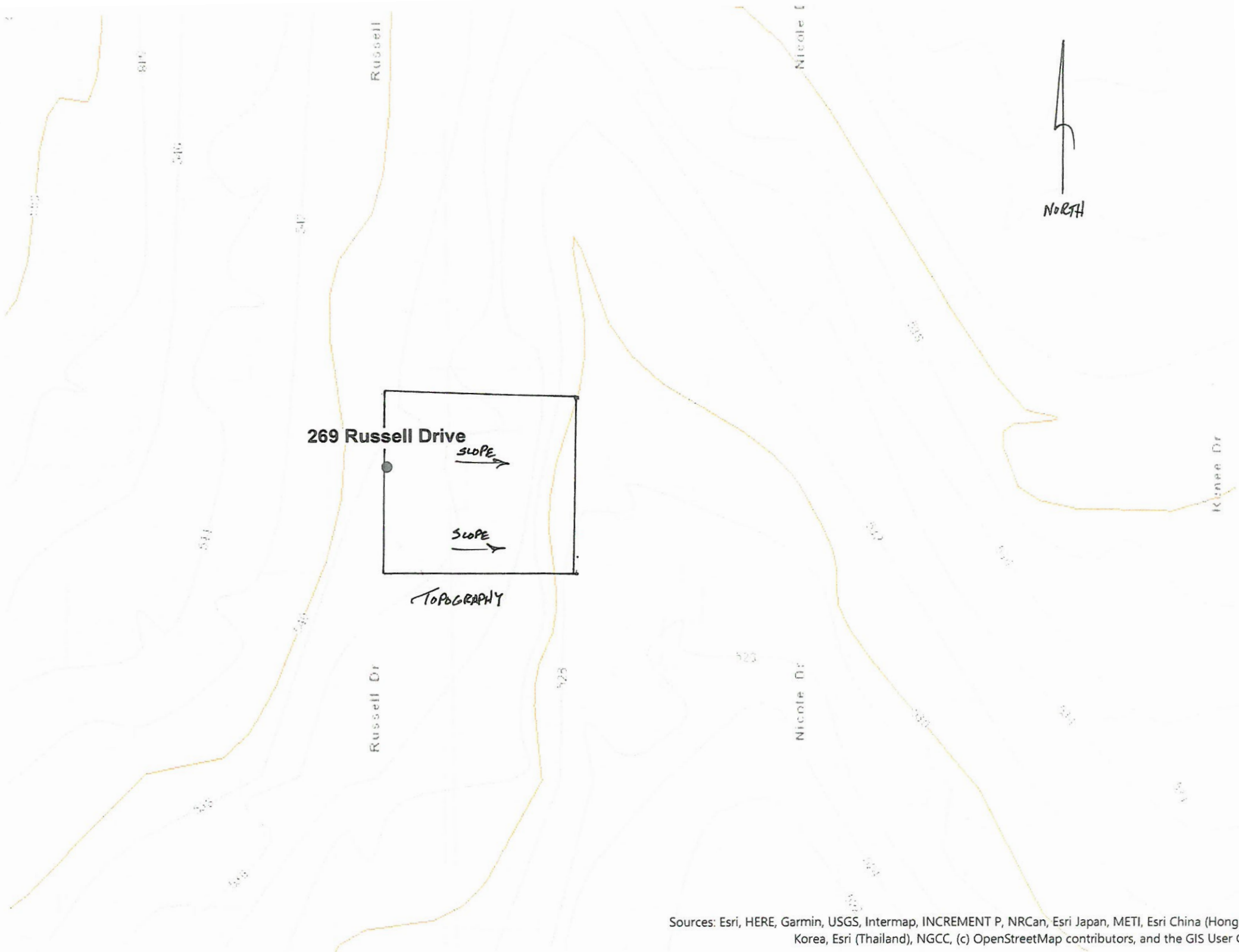
- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

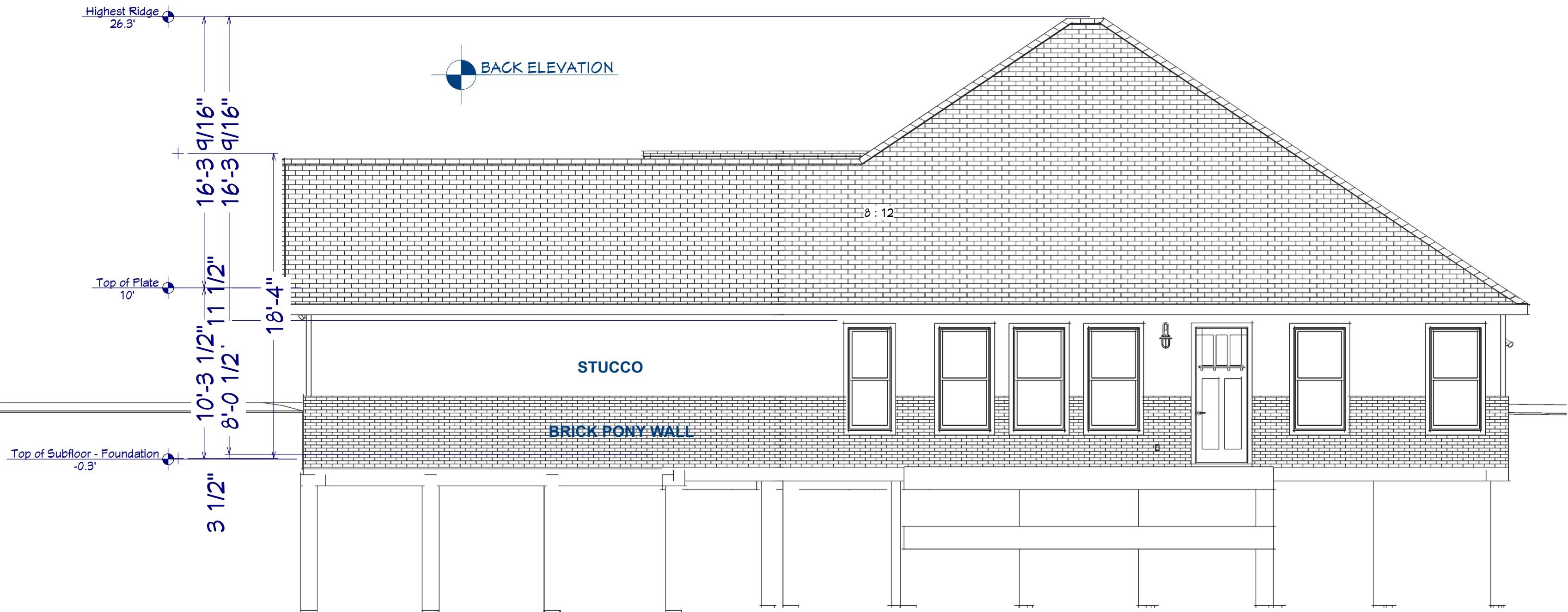
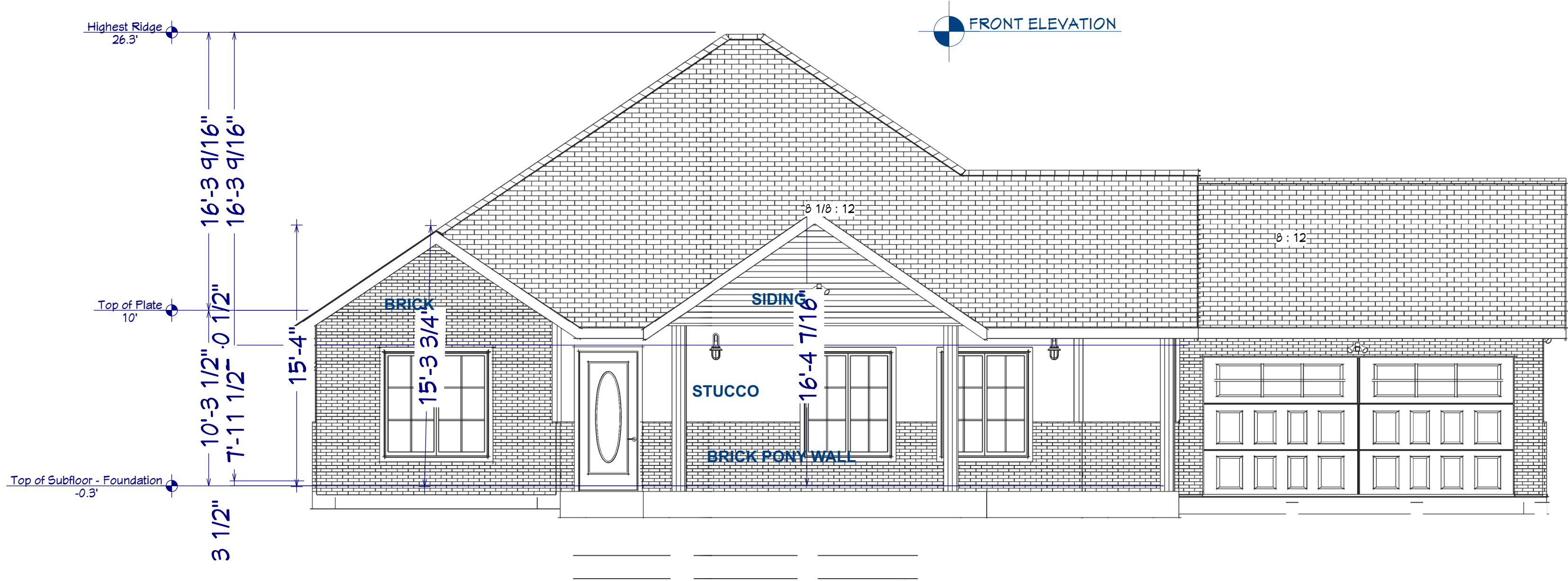
Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)





ROOF FRAMING / TRUSS NOTES:

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL ROOF FRAMING 24" O.C.

ALL OVERHANGS 16".

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

ATTIC VENTILATION: REQUIRED ABOVE HOUSE.

MIN. SNOW LOAD 50 LBs PER SQUARE FOOT.

WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO

FLOORS AND ROOFS

ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THEN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.

SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/ OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.

THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL

NUMBER	DATE	REVISION	DESCRIPTION

TRUSS NOTES:
1. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.
2. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS.
3. ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.
4. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
5. NON BEARING WALLS SHOULD BE HELD DOWN FROM THE TRUSS BOTTOM CHORD W/ BRACKEN ETC TO INSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.
6. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURE.
7. ALL ROOF FRAMING 24" O.C.
8. ALL ROOF PITCH 4:12
9. SCISSORS TRUSS CEILING PITCH 2:12
10. TRUSSES MANUFACTURED BY
11. ALL OVERHANGS 16"

EXTERIOR FINISH NOTES:

1. EXTERIOR FINISH TO BE FIBER CEMENT SIDING OVER 5/8 CDX PLYWOOD/OSB. WINDOW & DOOR TRIM CEDAR. MATERIAL AND COLOR BY OWNER.

2. ROOFING TO BE 90 YEAR ASPHALT OVER 30# FELT, 5/8 CDX PLYWOOD/OSB.

3. DECKING TO BE TREX OR WOOD. FINAL MATERIAL AND COLOR BY OWNER.

4. CHIMNEYS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY.

5. DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN.

6. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

7. BASALT RETAINING WALLS TO MATCH EXISTING RETAINING WALL.

WALL PANEL NOTES:

B.P. BRACED WALL PANEL

3'-4" MIN. LENGTH w/ 7/16" OSB OR 1/2" PLYWOOD AND 8d COMMONS 6" o/c AT ALL PANEL EDGES, 12" o/c FIELD.

I.B.P. INTERIOR BRACED WALL PANEL

1/2" GYP. BD PER R 602.10.3(5), 1/2 GWB EACH SIDE w/ #6 X 1 1/4 TYPE S OR W SCREWS PERS ASTM C1902 @ 7" o/c @ ALL SUPPORTS

A.B.P. ALTERNATE BRACED WALL PANEL

2'-8" MIN. WIDTH w/ 7/16" OSB OR 1/2" PLYWOOD AND 8d COMMONS 6" o/c AT ALL PANEL EDGES, 12" o/c FIELD & (2) A.B. PER PANEL LOCATED AT 1/4 POINTS & 1800# MIN. HOLDDOWN EACH END *HPAD22 OR STD10)

LUMBER SPECIES:

1. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2.

2. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER.

3. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.

4. ALL STUDS TO BE DF#2 OR BETTER.

5. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:

6. ROOF SHEATHING SHALL BE 5/8" PLYWOOD OR 9/32 OSB.

7. WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.

8. FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES AND GRADE REQUIREMENTS.

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. FINE C WORKS is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF FINE C WORK, DEVELOPED FOR THE EXCLUSIVE USE OF FINE C WORKS. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF FINE C WORKS IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES

NUMBER	DATE	REVISION	DESCRIPTION

• LIVING AREA SQ.FT 1,923
• INTERIOR AREA SQ.FT 2,404
• STANDARD AREA ((FOUNDATION)) SQ.FT 2,585

269 RUSSELL DRIVE
ROCKWALL COUNTY
TEXAS 75032

ELEVATION PLAN VIEWS

DRAWINGS PROVIDED BY:
FINE C WORKS
RUBEN SEGOVIA

DATE:

11/18/2019

SCALE:

3/16"=1'

SHEET:

P-4

ROOF FRAMING / TRUSS NOTES:

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL ROOF FRAMING 24" O.C.

ALL OVERHANGS 16".

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

ATTIC VENTILATION: REQUIRED ABOVE HOUSE.

MIN. SNOW LOAD 50 LBs PER SQUARE FOOT.

WALL HEADERS: (2) 2 X 10 DF 2 TYP. UNO

FLOORS AND ROOFS

ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THEN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.

SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/ OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.

THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL

ATTIC VENTILATION: AREA / 300	TRUSS NOTES:
PROVIDE 1" MIN. AIR GAP AT EAVES WITH INSULATION BAFFLES TYP. AT ALL TRUSS BAYS.	1. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.
PROVIDE GABLE VENTS ALL GABLE ENDS.	2. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS.
PROVIDE GALLY. ROOF VENTS ON INSIDE OF ROOF LINE ABOVE CONDITIONED AREA.	3. ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.
	4. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
	5. NON BEARING WALLS SHOULD BE HELD DOWN FROM THE TRUSS BOTTOM CHORD W/ BRIMSON ETC TO INSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.
	6. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURE.
	7. ALL ROOF FRAMING 24" O.C.
	8. ALL ROOF PITCH 4:12
	9. SCISSORS TRUSS CEILING PITCH 2:12.
	10. TRUSSES MANUFACTURED BY
	11. ALL OVERHANGS 16".

EXTERIOR FINISH NOTES:

- EXTERIOR FINISH TO BE FIBER CEMENT SIDING OVER 5/8 CDX PLYWOOD/OSB. WINDOW & DOOR TRIM CEDAR. MATERIAL AND COLOR BY OWNER.
- ROOFING TO BE 90 YEAR ASPHALT OVER 30# FELT, 5/8 CDX PLYWOOD/OSB.
- DECKING TO BE TREX OR WOOD. FINAL MATERIAL AND COLOR BY OWNER.
- CHIMNEYS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY.
- DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN.
- FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.
- BASALT RETAINING WALLS TO MATCH EXISTING RETAINING WALL.

WALL PANEL NOTES:

B.P. BRACED WALL PANEL

3'-4" MIN. LENGTH w/ 7/16" OSB OR 1/2" PLYWOOD AND 8d COMMONS 6" o/c AT ALL PANEL EDGES, 12" o/c FIELD.

I.B.P. INTERIOR BRACED WALL PANEL

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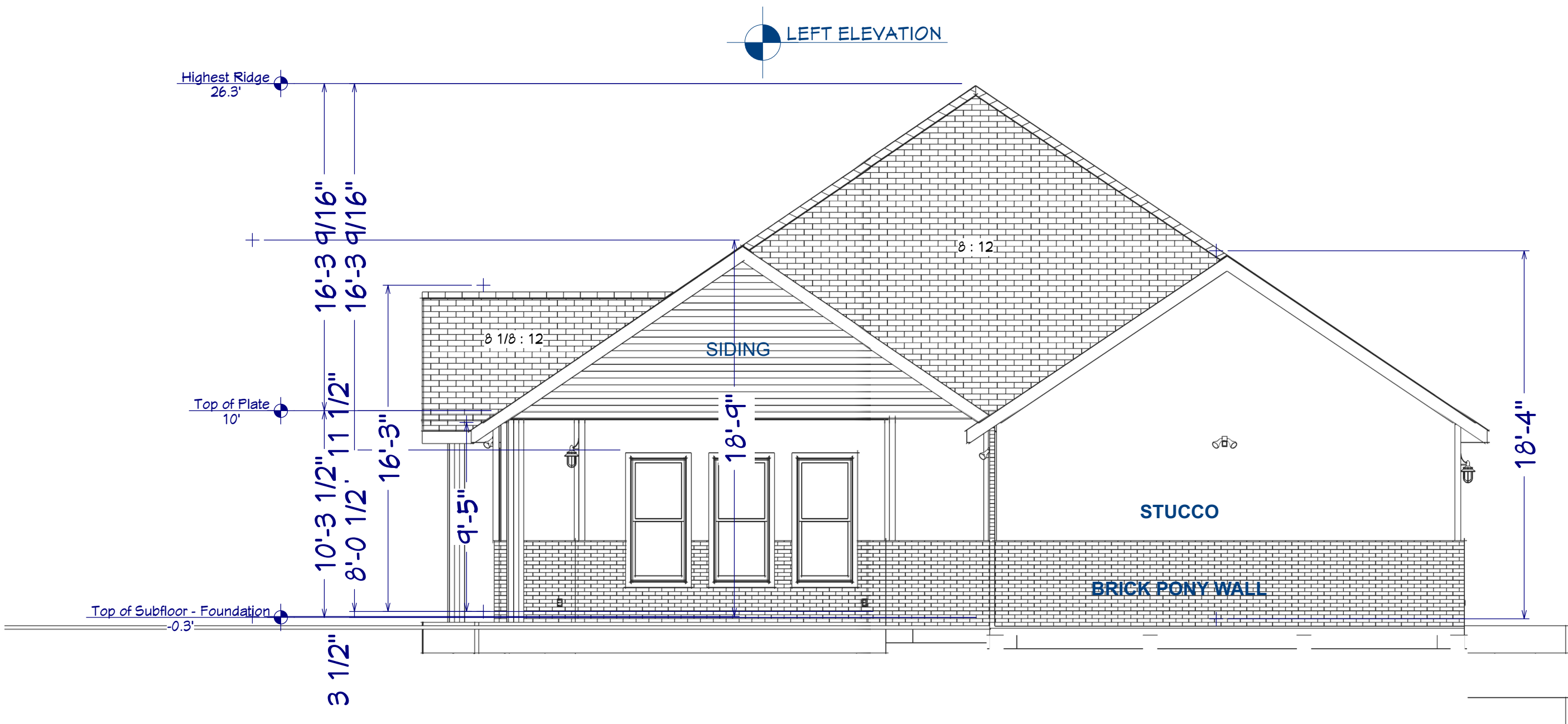
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HOMEOWNER & CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES AND GRADE REQUIREMENTS.

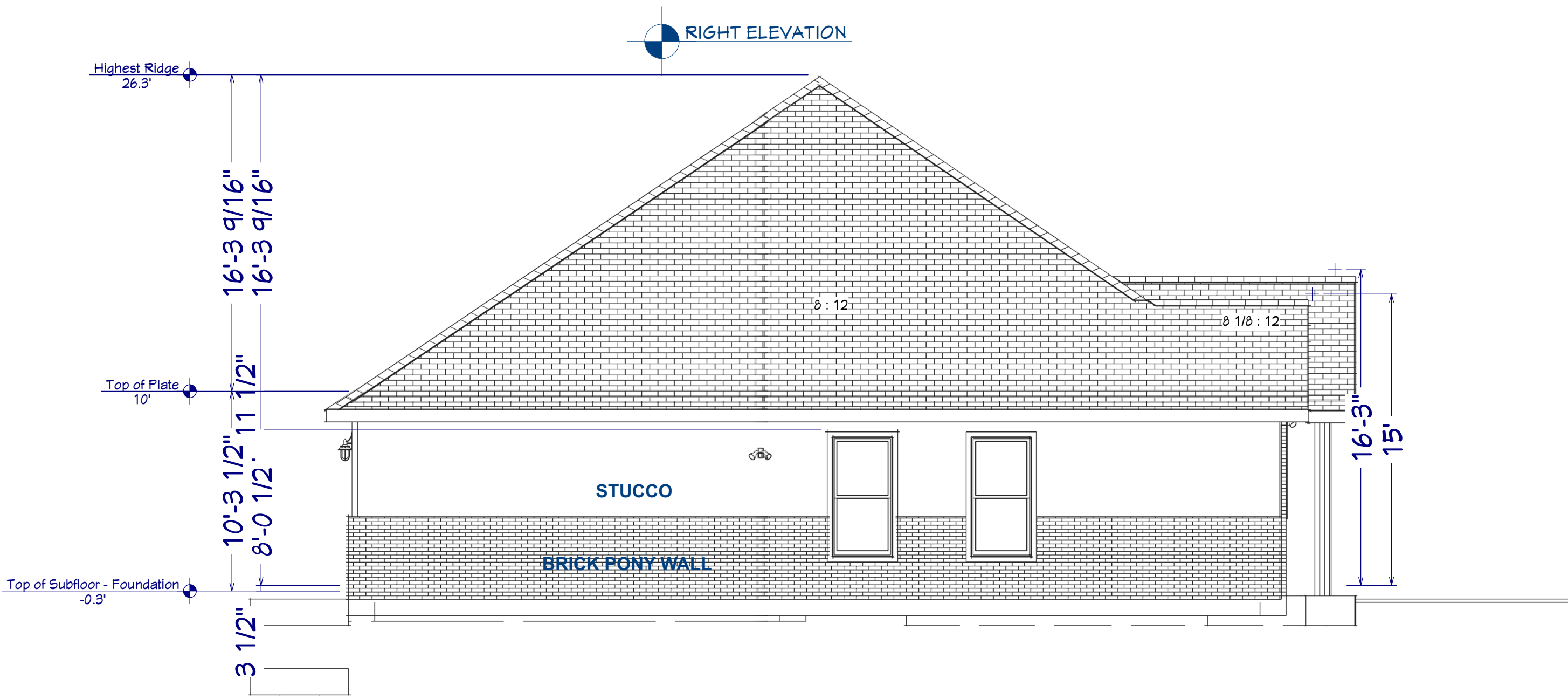
To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. FINE C WORKS is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF FINE C WORK, DEVELOPED FOR THE EXCLUSIVE USE OF FINE C WORKS. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF FINE C WORKS IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES

LEFT ELEVATION



RIGHT ELEVATION



REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISED BY

- LIVING AREA SQ.FT 1,923
- INTERIOR AREA SQ.FT 2,404
- STANDARD AREA ((FOUNDATION)) SQ.FT 2,585

269 RUSSELL DRIVE
ROCKWALL COUNTY
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ELEVATION PLAN VIEWS

DRAWINGS PROVIDED BY:
FINE C WORKS
RUBEN SEGOVIA

DATE: 11/18/2019

SCALE: 3/16"=1'

SHEET: P-5

STATE OF TEXAS
COUNTY OF ROCKWALL

Being a lot, tract or piece of land situated in the John R. Johnson Survey, Abstract No. 128, Rockwall County, Texas, and being all of Lots 1286 and 1287 of Rockwall Lake Properties Development No. 2 according to the plat thereof recorded in Cabinet A, Slide 79, Map Records, Dallas County, Texas, and being more particularly described by metes and bounds as follows:

THENCE South 89 degrees 04 minutes 33 seconds West, with the South line of said Lot 1287 and the North line of said Lot 1288, a distance of 120.18 feet to a 1/2 inch iron rod found at the Southwest corner of said Lot 1287, the Northwest corner of said Lot 1288, and on the East line of Russell Drive (50' R.O.W.), from which a 1/2 inch iron rod found bears South 01 degrees 03 minutes 38 seconds East, a distance of 59.88 feet;

THENCE North 01 degrees 03 minutes 38 seconds West, with the West line of said Lot 1287 and Lot 1286 and the East line of Russell Drive, a distance of 120.57 feet to a 1/2 inch iron rod and yellow cap stamped "By-Line" set at the Northwest corner of said Lot 1286 and the Southwest corner of Lot 1285 of said Rockswall Lake Properties, from which a 1/2 inch iron rod found bears North 01 degrees 03 minutes 38 seconds West, a distance of 241.40 feet;

THENCE North 89 degrees 04 minutes 08 seconds East, with the North line of said Lot 1286 and the South line of said Lot 1285, a distance of 120.18 feet to a 1/2 inch iron rod and yellow cap stamped "By-Line" set at the Northeast corner of said Lot 1286, the Southeast corner of said Lot 1285, the Southwest corner of Lot 1314 and the Northwest corner of Lot 1313 of said Rockwall Lake Properties, from which a 1/2 inch iron rod found bears North 01 degrees 03 minutes 38 seconds West, a distance of 242.57 feet;

THENCE South 01 degrees 03 minutes 38 seconds East, with the East line of said Lot 1286 and Lot 1287 and the West line of said Lot 1313 and said Lot 1312, a distance of 120.41 feet to the POINT OF BEGINNING and CONTAINING 0.33 acres of land or 14,481 square feet.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as the REPLAT OF LOTS 1266 AND 1287 OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the REPLAT OF LOTS 1266 AND 1287 OF ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 subdivision have been notified of this dedication by publication of notice in the newspaper of general circulation in this county, and I understand that the assessment strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way interfere with construction, maintenance or efficiency of their respective system on any of these easement strips, and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm drainage structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the owner, the contractor shall not be permitted to make any improvements on private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and the contractor for the purpose of making improvements on private commercial rates, by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

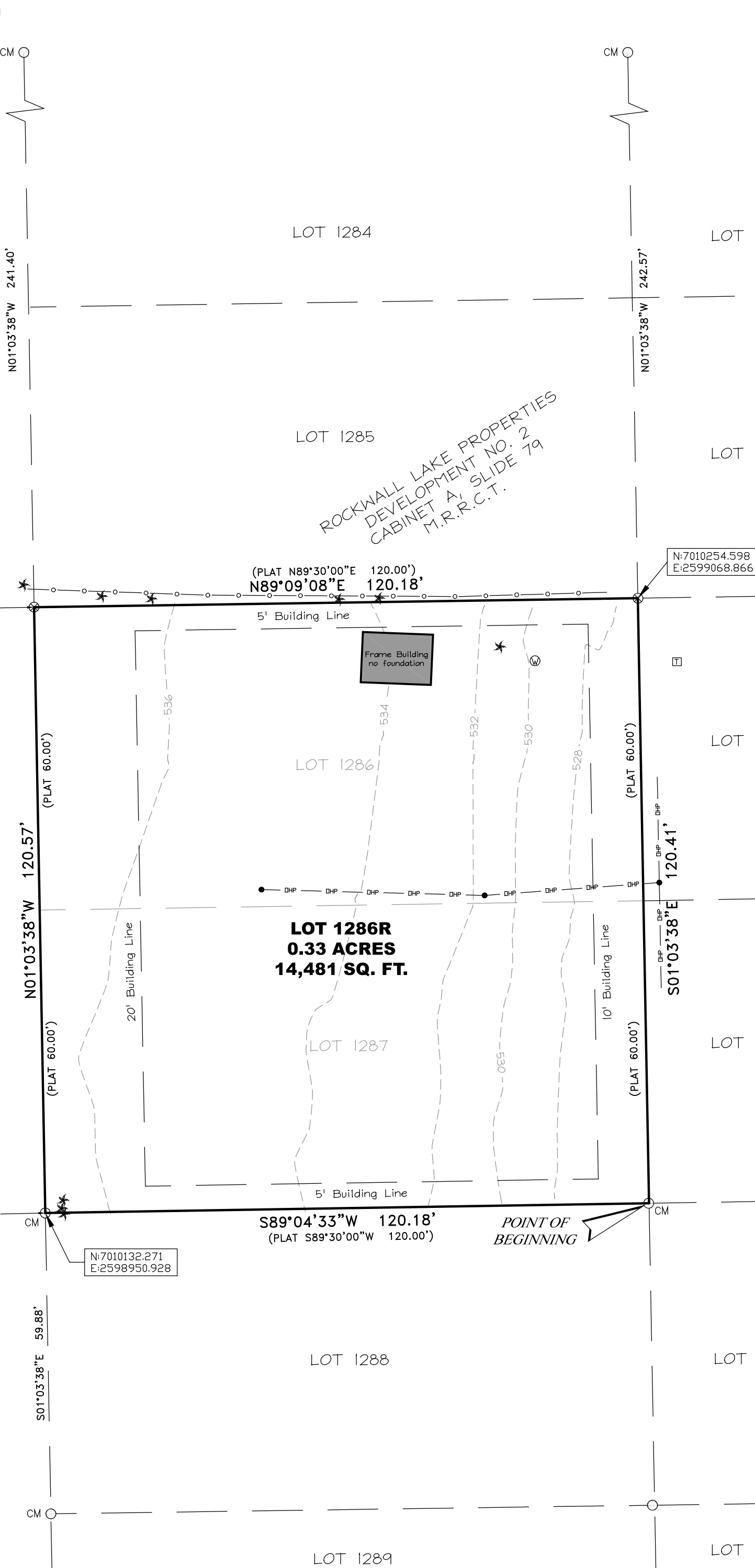
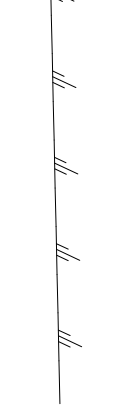
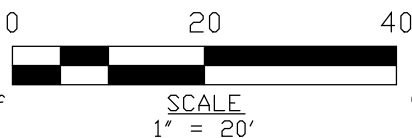
Jose Valerio, Owner

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Jose Valerio, Owner, known to me to be the persons whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2020.

Notary Public in and for the State of Texas



CM CONTROLLING MONUMENT
 ○ 1/2" IRON ROD FOUND
 ⊗ 1/2" IRON ROD SET (BY-LINE)
 ★ HACKBERRY TREE
 ● POWER POLE
 □ TELEPHONE PEDESTAL
 ⊕ WATER METER
 // ASPHALT
 —○— CHAINLINK FENCE
 —DIP— DIP— OVERHEAD ELCTRIC LINE

VICINITY MAP
NOT TO SCALE

Evans Rd.

Rockwall Lake

FM 3097

County Line Rd.

Russell Dr.

Renee Dr.

Subject Tract

NOTES:

1. Bearings based on Texas State Plane Coordinates, Texas North Central Zone 4202 as obtained by GPS observation.
2. Any structure new or existing may not extend across new property lines.
3. The purpose of this plat is to create one lot from two lots.
4. Coordinates shown are Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale, No Projection.
5. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
6. The property is shown as being located within Zone X by Flood Insurance Rate Map No. 48397C0040L, dated 09/26/2008. It is shown as not being located in a special flood hazard area inundated by 100-year flood.

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission *Date*

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the _____ day of _____, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

Mayor, City of Rockwall

City Secretary

City Engineer

KNOW ALL MEN BY THESE PRESENTS:

That I, Wayne Beets, II, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the platting rules and regulations of the Planning and Zoning Commission of the City of Rockwall, Texas.

This _____ day of _____, 2020

PRELIMINARY - THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED, VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Wayne Beets, II
Registered Professional Land Surveyor No. 6039

AN ADDITION TO THE CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
THE JOHN R. JOHNSON SURVEY, ABSTRACT NO. 128
CASE NO.

OWNER - JOSE VALERIO
3027 MASON DR, MESQUITE, TX 75150 -
PHONE NUMBER 469-286-9964

ADDRESS:
269 & 257 RUSSELL DRIVE,
ROCKWALL, TEXAS
ACREAGE: 0.33 ACRES
ZONING: PD-75
PREPARED: 1/31/2020
BY-LINE JOB NO: 2020-009
SCALE: 1" = 20'
TECHNICIAN: TYB



**BY-LINE
SURVEYING LLC**
P.O. Box 834
Emory, Tx 75440
Ph: (903) 473-5150
Firm No: 10194233
www.bylinesurveying.com

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CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE TRACT OF LAND, IDENTIFIED AS LOTS 1286 & 1287, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ruben Segovia for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 75 (PD-75) [Ordinance No. 16-01] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 75 (PD-75) [Ordinance No. 16-01] -- as heretofore amended and may be amended in the future - and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF OCTOBER, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

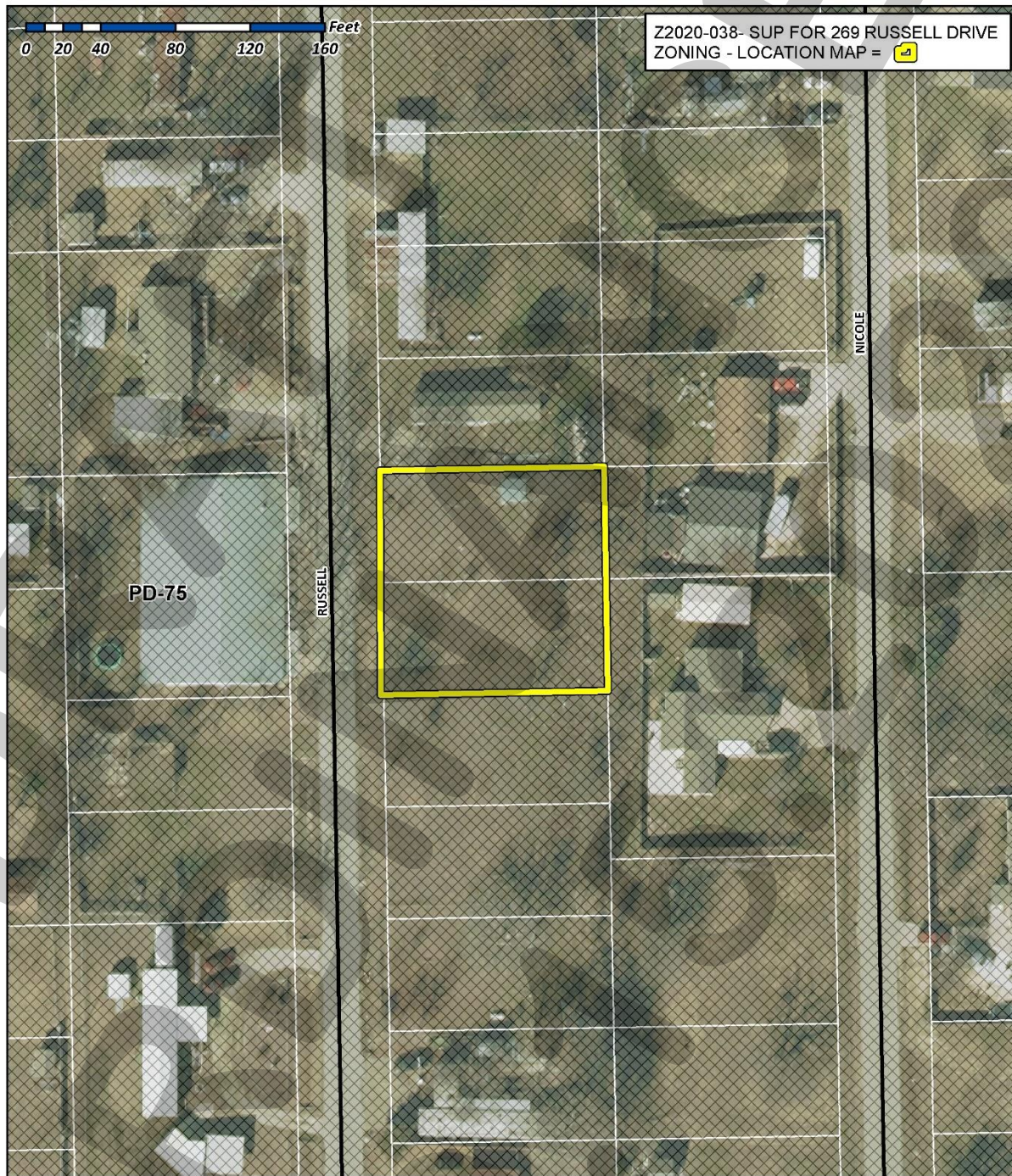
1st Reading: September 21, 2020

2nd Reading: October 5, 2020

Exhibit 'A'
Location Map

Address: 269 Russell Drive

Legal Description: Lot 1286, Rockwall Lake Estates #2 Addition



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



***Ruben Segovia (972) 363-5019
269 Russell Drive
Rockwall, Texas 75032
Rockwall County***

City of Rockwall, Texas

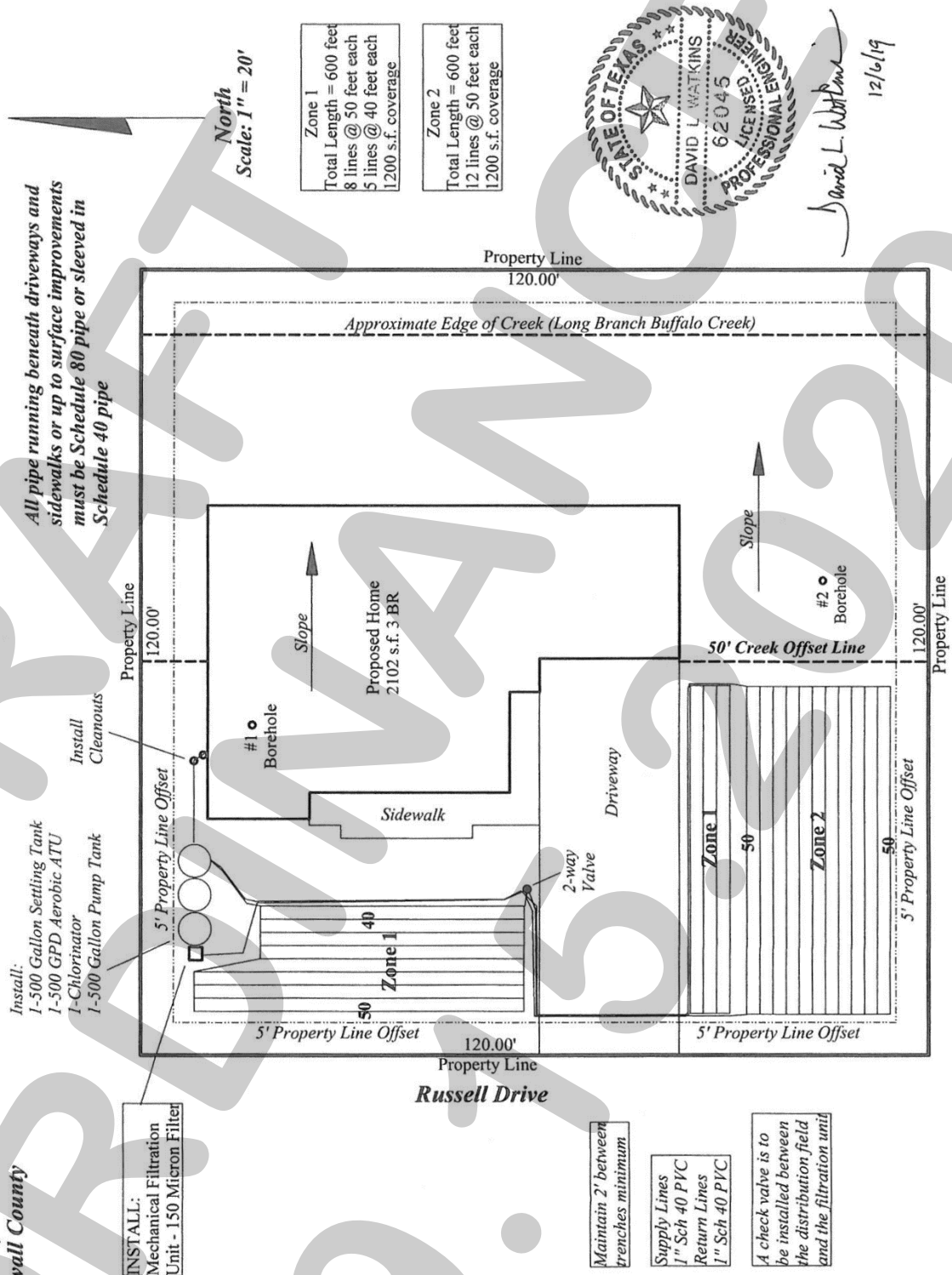


Exhibit 'C':
Building Elevations

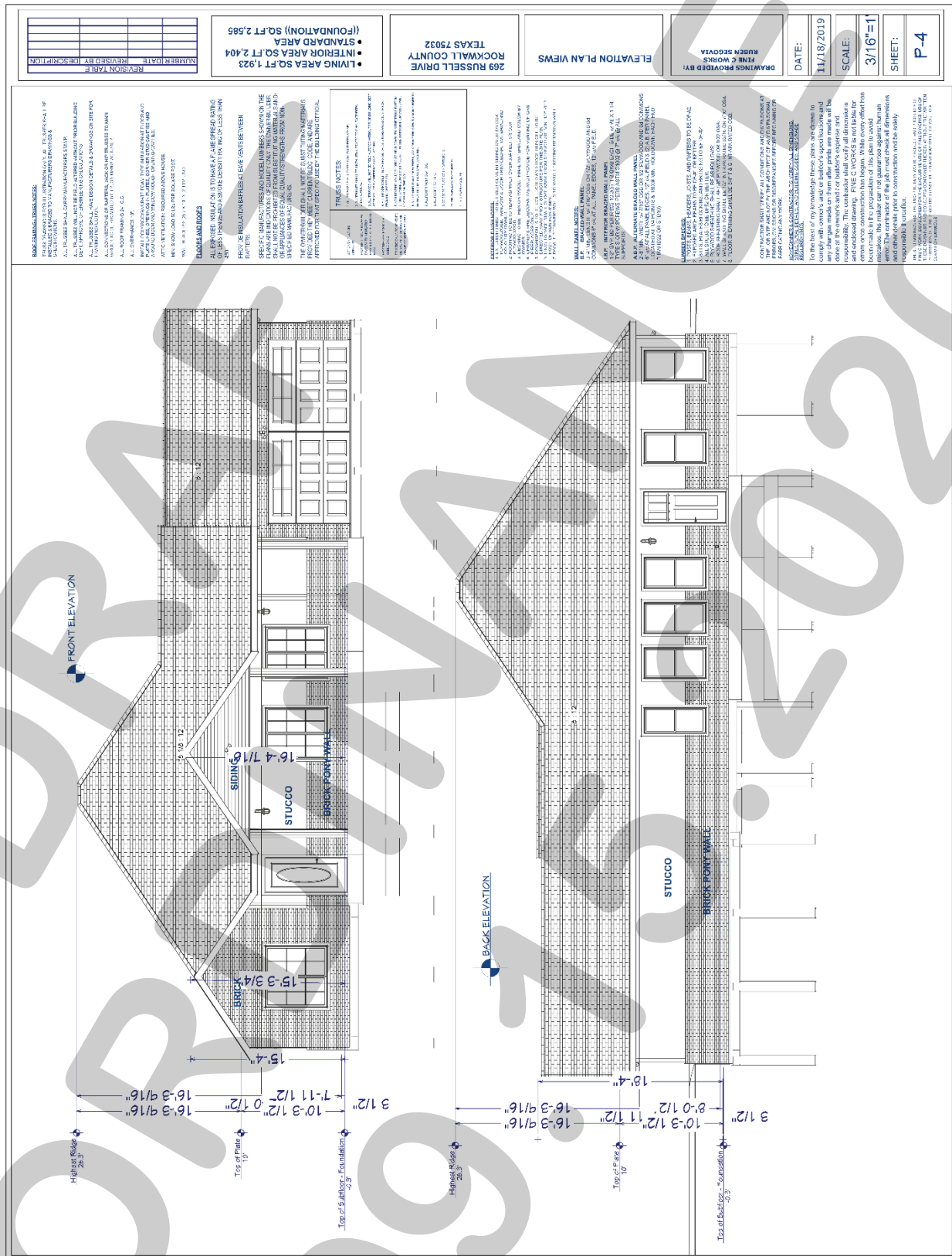


Exhibit 'C':
Building Elevations

[illegible]



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: David Gonzales, *Planning and Zoning Manager*

DATE: September 15, 2020

SUBJECT: SP2020-018; *Amended Site Plan for Harbor Hills Condominiums*

The applicant, Jimmy Strohmeier of Strohmeier Architects, is requesting the approval of an amended site plan for the purpose of changing the exterior building elevations of a previously approved condominium building (*i.e. the Harbor Hills Condominiums*). The proposed 265-unit condominium building was originally approved by site plan (*Case No. SP2015-004*) on March 16, 2015 by the City Council. At the time of this approval, the applicant requested and was granted two (2) waivers to the building form requirements, and two (2) variances associated with the building material requirements. This site plan expired in accordance with the requirements of Subsection 03.05(A), *Site Plan Expiration*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Based on this the applicant submitted a subsequent site plan (*Case No. SP2018-037*), which was approved by the City Council on December 17, 2020. The following is a list of all of the waivers and variances approved with this site plan case:

- (1) *Variances to the Building Material Requirements of the Unified Development Code (UDC).*
 - (a) *Stone Requirements.* A variance for not meeting the minimum 20% natural or quarried stone requirement for each façade of the building. This included an exception for the use of cultured stone in addition to the variance for the amount of stone.
 - (b) *Masonry Material Requirements.* A variance for exceeding a maximum of 50% stucco (*i.e. cementitious material*) on each building façade.
- (2) *Waiver to the Building Form and Placement Requirements of Planned Development District 32 (PD-32) [Ordinance No. 17-22].*
 - (a) *Building Form.* A waiver for 30% of the building's front façade length not fronting onto Summer Lee Drive.
 - (b) *Build-To-Lines and Building Setbacks.* A waiver for not meeting the average setback of 20-feet from the Summer Lee Drive right-of-way line.
 - (c) *1st Floor Height.* A waiver for not meeting the first-floor building height, which is required to be built to a commercial height of 15-feet.
 - (d) *Building Height.* A waiver for exceeding the maximum building height of five (5) stories or 75-feet.
- (3) *Waiver to the Parking Requirements of Planned Development District 32 (PD-32) [Ordinance No. 17-22].*
 - (a) *Surface Parking Setback.* A waiver for not meeting the surface parking setback requirements, which are a minimum of ten (10) feet from the right-of-way line.

Staff should point out that the applicant's request does not change the building elevations, only the color of the stucco and stone veneer from a tan/beige earth tone pallet to a color that is primarily white with light gray accents. While changes in color do not typically require site plan approval, in this case the applicant's colors and materials were tied to previous approvals that necessitate the Planning and Zoning Commission to reexamine the case and make a decision based on all past approvals. Staff should note that according to Section 6, *Architectural Guidelines*, of *Resolution No. 10-40 (i.e. the Design Guidelines for development within Planned Development District 32 [PD-32])*, the "Primary Material Colors...shall be selected within earth tone ranges and shall complement each other ... [and] Secondary Material Colors ... shall be non-white within earth tone ranges." With this being said, on August 25, 2020, the Architectural Review Board (ARB) reviewed the revised building elevations and unanimously approved a motion to recommend approval of the proposed changes to the building elevations.

As a part of this consideration, staff has listed all of the conditions of approval from the December 17, 2018 site plan approval [Case No. SP2018-037] for the Planning and Zoning Commission's consideration with this new request. These conditions of approval are as follows:

- (1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) The abandonment and acquisition of the property in front of the subject property (*i.e. between Summer Lee Drive and the subject property, adjacent to the proposed northern most driveway*) will need to be addressed with the final plat [*this is needed to meet the building setbacks for the buildings and to provide fire access to the north side of the building*];
- (3) The construction of Glen Hill Way will need to be completed prior to the building receiving final approval from the Building Inspections and Engineering Departments;
- (4) All stucco shall be a three (3) part stucco;
- (5) A *Treescape Plan* depicting the full property and all trees being removed for this development will be required prior to the issuance of a grading permit. In addition, all tree mitigation balances will need to be satisfied prior to the removal of any trees on-site;
- (6) The applicant shall submit a *Streetscape Plan* showing conformance to the requirements of *Ordinance No. 17-22, Resolution No. 10-40*, and the UDC; and
- (7) Any construction resulting from the approval of this *site plan request* shall conform to the requirements set forth by the UDC, the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☒ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

Subdivision

LOT 1 BLOCK A HARBOR HILLS ADD. Lot 1 Block A

General Location

4.032 ACRES AT SUMMER LEE AND SUNSET RIDGE DR.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

PD-32 APPROVED SITE PLAN[?] Current Use

Proposed Zoning

SAME -

Proposed Use

Acreage

4.032 ACRES

Lots [Current]

Lots [Proposed]

- ☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner

HARBOR LAKE POINTE INVESTORS, LLC

☐ Applicant

Contact Person

RUSSELL PHILLIPS

Contact Person

JIMMY STROHMEYER

Address

2701 SUNSET RIDGE DR.

Address

STE 607

City, State & Zip

ROCKWALL, TX 75082

City, State & Zip

Phone

469 446 7734

Phone

214 497 2057

E-Mail

RUSSELL@STERLINGONE.US

E-Mail

JIMMY@STROHMEYERARCHITECTS.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 100, to cover the cost of this application, has been paid to the City of Rockwall on this the 12th day of AUGUST, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

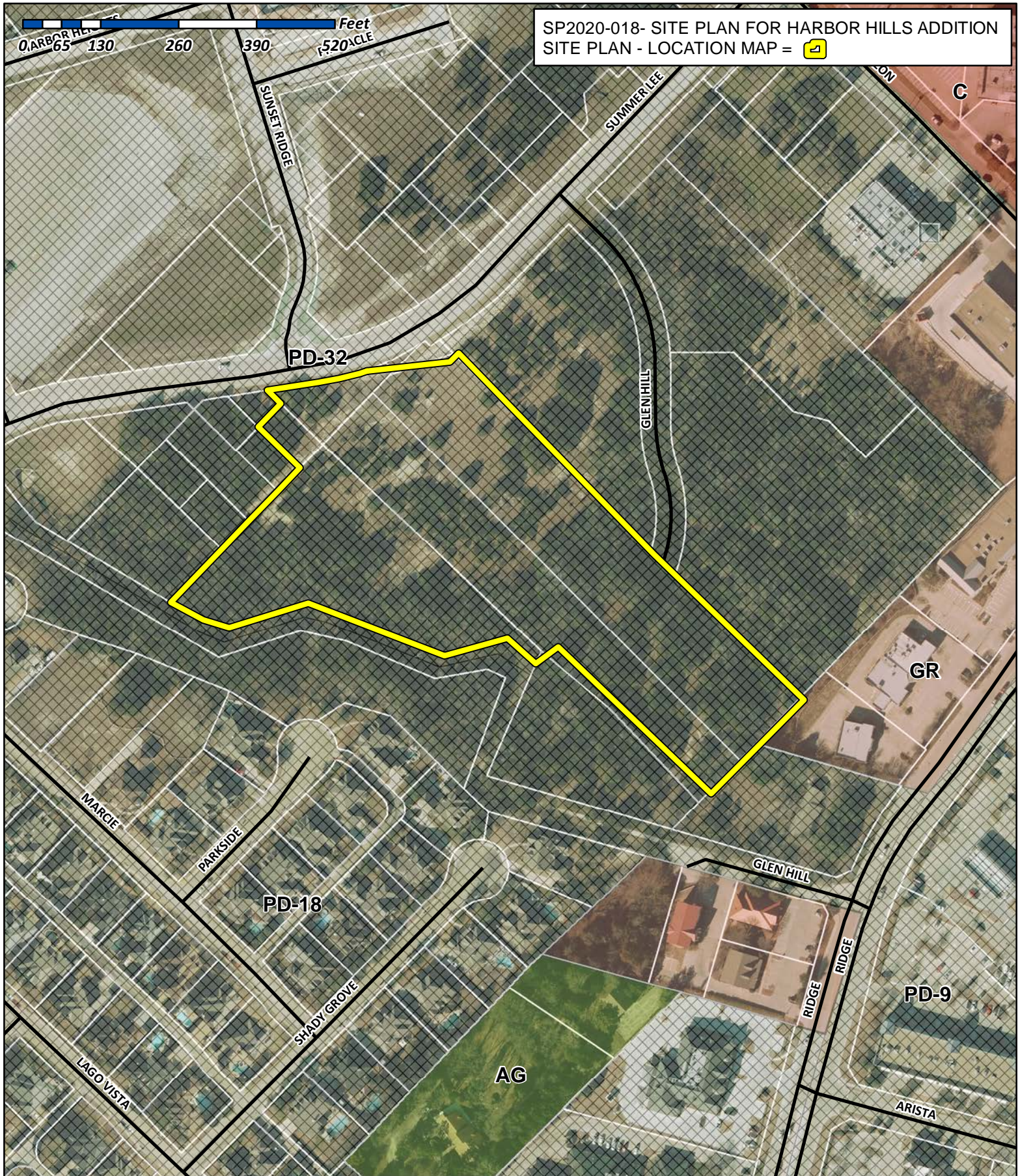
Given under my hand and seal of office on this the _____ day of _____, 20 _____.

Owner's Signature

Russell Phillips

Notary Public in and for the State of Texas

My Commission Expires



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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EXTERIOR COLORS



CONCRETE ROOF TILE:
BORAL - TEJAS ESPANA -
CUSTOM BLEND 8



EXTERIOR STONE VENEER:
ELDORADO STONE
PROFILE - MC-CROP-
MARQUEE 24 - DOVE TAIL



WINDOWS
EXTERIOR DOORS
RAILS
BRONZE



MORTAR:
SPEC MIX
SM200 WHITE



3 COAT STUCCO SYSTEM:
COLOR #1: STANDARD COLOR - WHITE
(TYP. AT ALL HORIZONTAL BANDING.)

WEST ELEVATION EXTERIOR MATERIAL FOOTAGES:

TOTAL SURFACE SQUARE FOOTAGE	=	15,038
AREA OF STUCCO MATERIAL	=	10,957
AREA OF STONE ON BUILDING FASCADE	=	1,096
AREA OF STONE ON EXPOSED GARAGE	=	2,985



2 WEST EXTERIOR ELEVATION (LAKE SIDE)

SCALE: NTS

NORTH ELEVATION EXTERIOR MATERIAL FOOTAGES:

TOTAL SURFACE SQUARE FOOTAGE	=	13,140
AREA OF STUCCO MATERIAL	=	10,585
AREA OF STONE ON BUILDING FASCADE	=	1,202
AREA OF STONE ON EXPOSED GARAGE	=	1,353



1 NORTH EXTERIOR ELEVATION

SCALE: NTS

DBA
ARCHITECTS

111 S. KENTUCKY SUITE 210
MCKINNEY, TEXAS 75069
888-900-4005



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HARBOR HILL
2400 SUMMER LEE DRIVE
ROCKWALL, TEXAS 75032
EXTERIOR ELEVATION
NORTH & WEST VIEWS

Issue Dates:
ISSUED FOR PRICING 10-02-2019
ADDENDUM #4 10-23-2019
ISSUE FOR PERMIT REVIEW 11-22-2019
ISSUE FOR PERMIT 01-09-2020
REVISION PS1 02-14-2020

Scale:
Drawn By: KM, TT
Checked by: BM
Sheet A501R
Project No. SP2018-037

ISSUE FOR PERMIT: 01-09-2020

EXTERIOR COLORS



CONCRETE ROOF TILE:
BORAL - TEJAS ESPANA -
CUSTOM BLEND 8



EXTERIOR STONE VENEER:
ELDORADO STONE
PROFILE - MC-CROP-
MARQUEE 24 - DOVE TAIL



WINDOWS
EXTERIOR DOORS
RAILS
BRONZE



MORTAR:
SPEC MIX
SM200 WHITE



3 COAT STUCCO SYSTEM:
COLOR #1: STANDARD COLOR - WHITE
(TYP. AT ALL HORIZONTAL BANDING.)

EAST ELEVATION EXTERIOR MATERIAL FOOTAGES:
TOTAL SURFACE SQUARE FOOTAGE = 12,387
AREA OF STUCCO MATERIAL = 10,203
AREA OF STONE ON BUILDING FASCADE = 1,433
AREA OF STONE ON EXPOSED GARAGE = 751



2 EAST EXTERIOR ELEVATION

SCALE: NTS

SOUTH ELEVATION EXTERIOR MATERIAL FOOTAGES:
TOTAL SURFACE SQUARE FOOTAGE = 13,589
AREA OF STUCCO MATERIAL = 10,941
AREA OF STONE ON BUILDING FASCADE = 800
AREA OF STONE ON EXPOSED GARAGE = 1,848



1 SOUTH EXTERIOR ELEVATION

SCALE: NTS

DBA
ARCHITECTS

111 S. KENTUCKY SUITE 210
MCKINNEY, TEXAS 75069
888-900-4005



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HARBOR HILL
2400 SUMMER LEE DRIVE
ROCKWALL, TEXAS 75032
EXTERIOR ELEVATION
EXTERIOR PERIMETER

Issue Dates:
ISSUED FOR PRICING
10-02-2019
ADDENDUM #4
10-23-2019
ISSUE FOR PERMIT
REVIEW
11-22-2019
ISSUE FOR PERMIT
01-09-2020
REVISION PS1
02-14-2020

Scale:
Drawn By: KM, TT
Checked by: BM
Sheet
A502R
Project No.
SP2018-037

ISSUE FOR PERMIT: 01-09-2020

